

WEST ROSEVILLE MARKETPLACE

FIDDYMENT RD. & PLEASANT GROVE BLVD., ROSEVILLE CA.

SHEET INDEX

ARCHITECTURAL:

- C1.1 PRELIMINARY SITE PLAN
- C2.1A ELEVATIONS : MAJOR A
- C2.1B ELEVATIONS : SHOPS 1
- C2.1C ELEVATIONS : PAD B
- C2.1D ELEVATIONS : FUEL CENTER
- C2.2A ELEVATIONS : MAJOR A (RENDERED)
- C2.2B ELEVATIONS : SHOPS 1 (RENDERED)
- C2.2C ELEVATIONS : PAD B (RENDERED)
- C2.2D ELEVATIONS : FUEL CENTER (RENDERED)
- C2.2E COLORS & MATERIALS BOARD
- C2.3A ROOF PLAN : MAJOR A
- C2.3B ROOF PLAN : SHOPS 1, PAD B, FUEL CENTER
- C2.4 BUILDING SECTIONS : MAJOR A, SHOPS 1, PAD B
- C2.5 TYPICAL TRASH ENCLOSURE

LANDSCAPE:

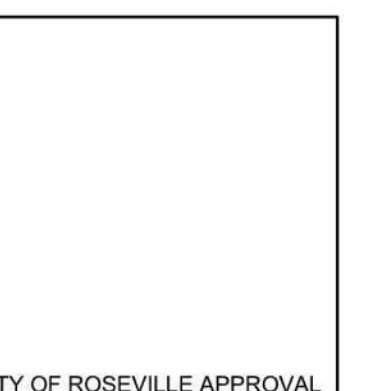
- L1.1 LANDSCAPE PLAN
- L1.2 PLANT SCHEDULE AND NOTES

CIVIL:

- TM 1 TENTATIVE MAP
- TM 2 TENTATIVE MAP SECTION
- GR 1 PRELIMINARY GRADING PLAN
- GR 2 PRELIMINARY GRADING PLAN
- GR 3 GRADING PLAN
- GR 4 GRADING PLAN
- UT 1 PRELIMINARY UTILITY PLAN

ELECTRICAL:

- E0.1 ELECTRICAL GENERAL NOTES & LEGENDS
- E1.1 ELECTRICAL PHOTOMETRIC PLAN
- E3.0 ELECTRICAL SPECIFICATION SHEET



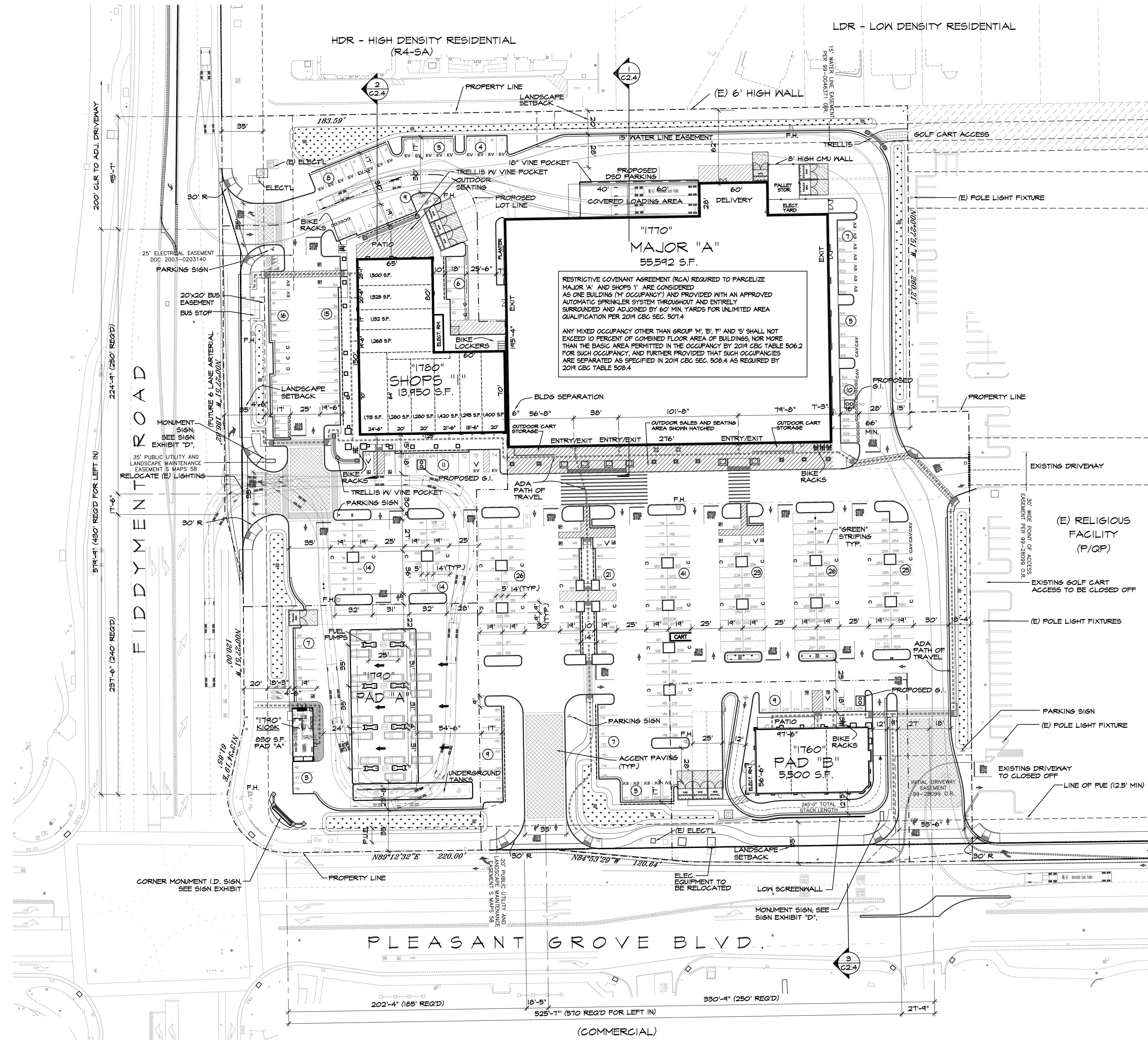
COVER SHEET, SHEET INDEX
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET 00.0

JOB #: 22002
DATE: 06/08/2022

NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

NADEL



Summary

Jurisdiction: City of Roseville
 Plan: Del Webb Specific Plan
 Zone: Community Commercial (C2-SA)
 Land ±8.7 AC ±379,241 SF
 Building 75,872 SF
 Coverage 20%

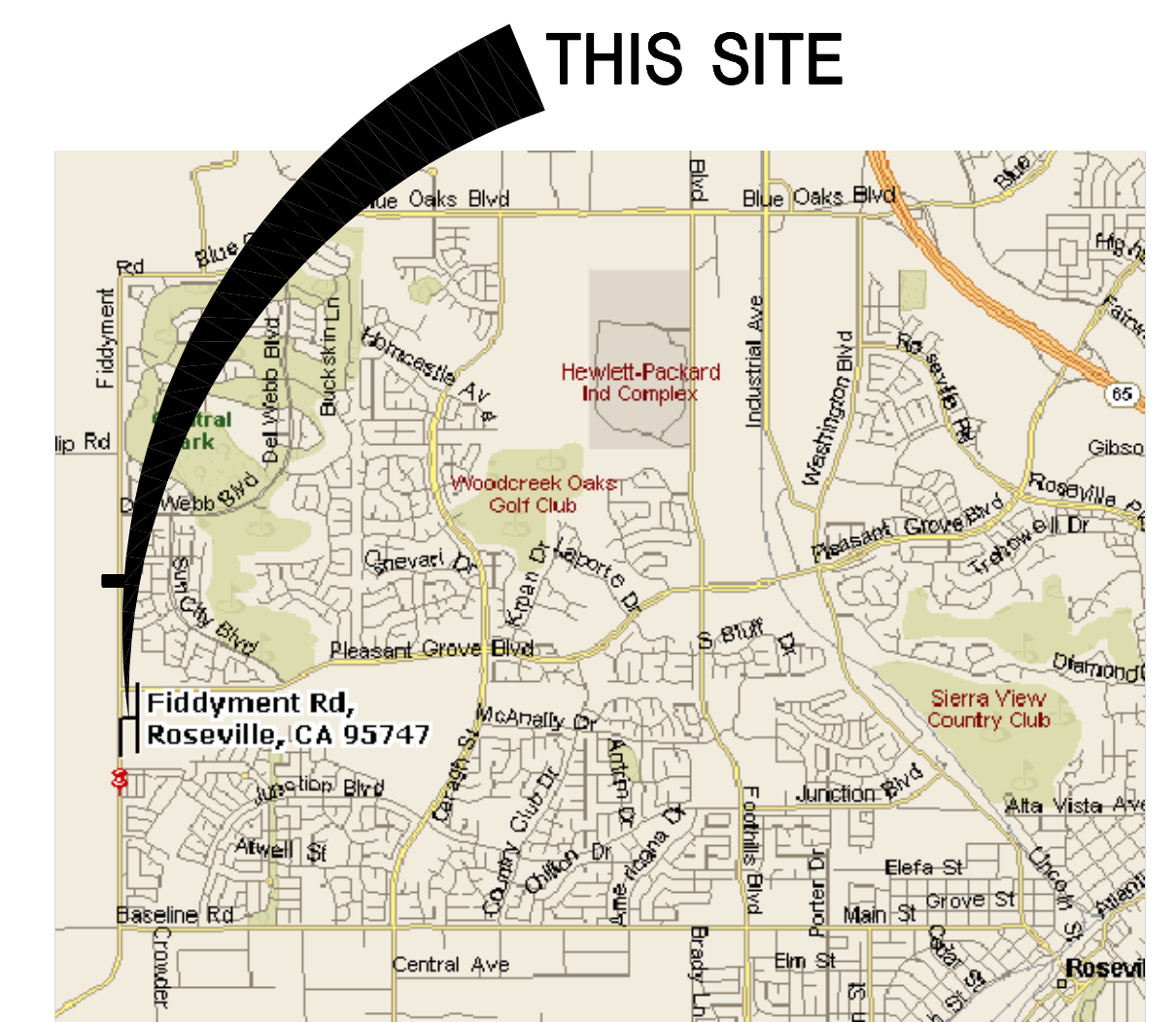
Parking Required:
 Market 55,592 sf (1/300 sf) 185 stalls
 Shops 1 Retail 9,950 sf (1/300 sf) 33 stalls
 Shops 1 Rest. 4,200 sf (1/100 sf) 42 stalls
 Pad A Retail 830 sf (5 space min.) 5 stalls
 Pad B Rest. 5,500 sf (1/100 sf) 55 stalls
Total Parking Required: 320 stalls

Parking Provided:
 (C) Compact 37 stalls
 (GC) Golf cart 15 stalls
 (HC) Handicap Standard 13 stalls
 Standard 224 stalls
Total Parking Provided 326 stalls
Parking Ratio 4.29/1000

FUTURE CLEAN AIR VEHICLE (CAV)/EV PARKING:
 (per Cal Green Code CAV table 5.1065.2 & EV table 5.1065.3.3)

CAV (12% of total req. parking) 6 stalls
 EV (10% of total req. parking) 33 stalls

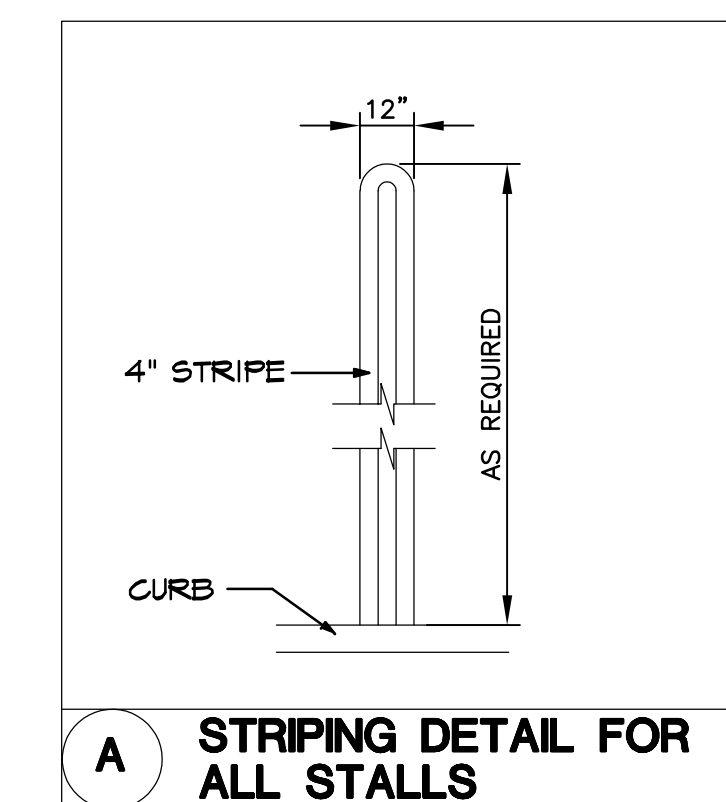
Bike Parking Provided:
 Short-Term 12
 Long-Term 4



Vicinity Map
 Not to Scale

ALL BUILDINGS, IMPROVEMENTS, THEIR OCCUPANTS AND THE USES AS SHOWN ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO MODIFICATION AT THE OWNER'S DISCRETION WITHOUT NOTICE.

THIS PRELIMINARY SITE PLAN IS BASED ON INFORMATION FURNISHED TO NADEL ARCHITECTS INC AND IS SUBJECT TO VERIFICATION BY LEGALS, SURVEYS AND GOVERNING AGENCIES ETC. THIS EXHIBIT IS NOT NECESSARILY A REPRESENTATION AS TO IDENTITY, TYPE, SIZE, LOCATION, TIMING OR OCCUPANCY OF ANY BUILDING WITHIN THIS CENTER.



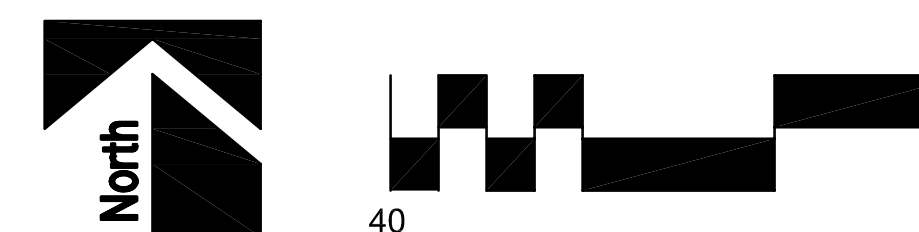
A STRIPING DETAIL FOR ALL STALLS

CITY OF ROSEVILLE APPROVAL

PRELIMINARY SITE PLAN WEST ROSEVILLE MARKETPLACE 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

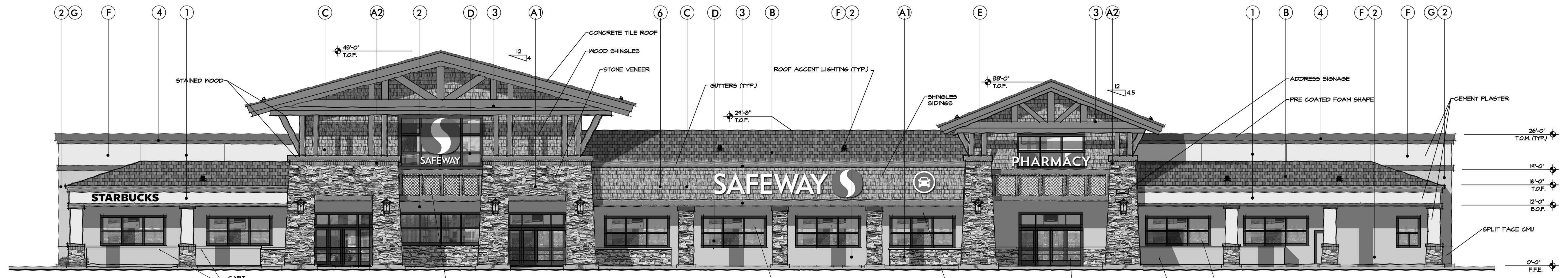
SHEET C1.1

JOB #: 22002
 DATE: 03/15/2022
 REV. 08/16/2022

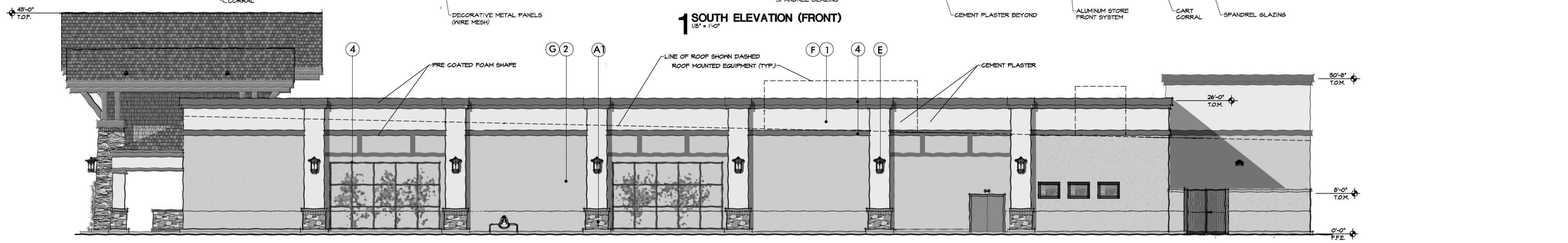


NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM

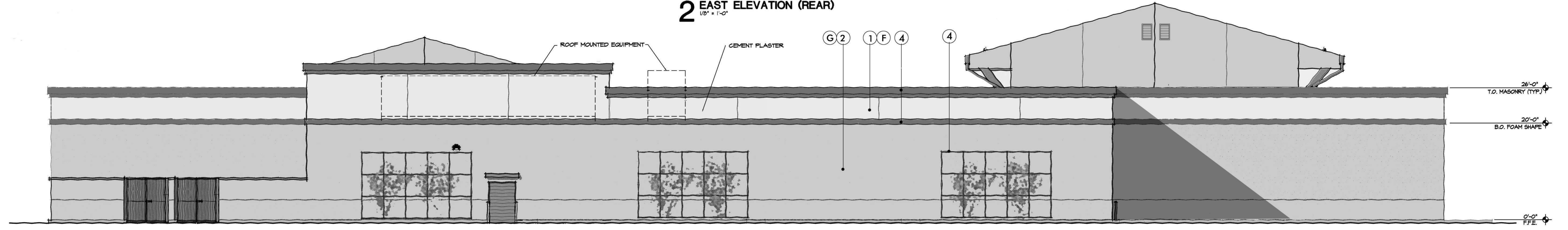
NADEL



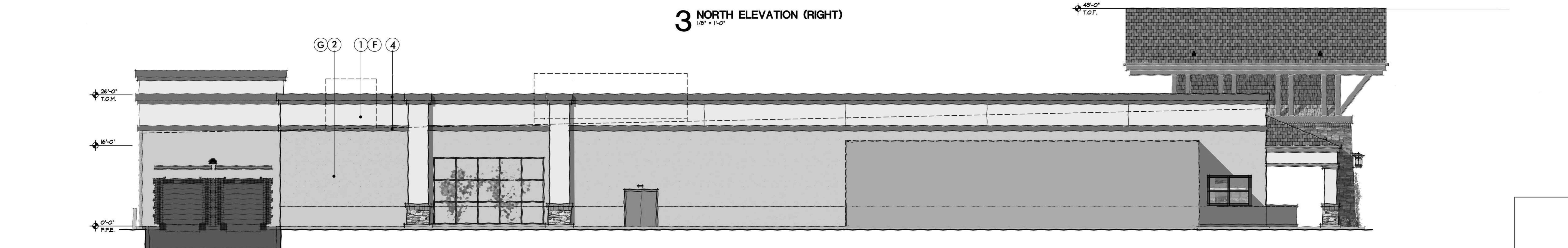
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"



2 EAST ELEVATION (REAR)
1/8" = 1'-0"



3 NORTH ELEVATION (RIGHT)
1/8" = 1'-0"



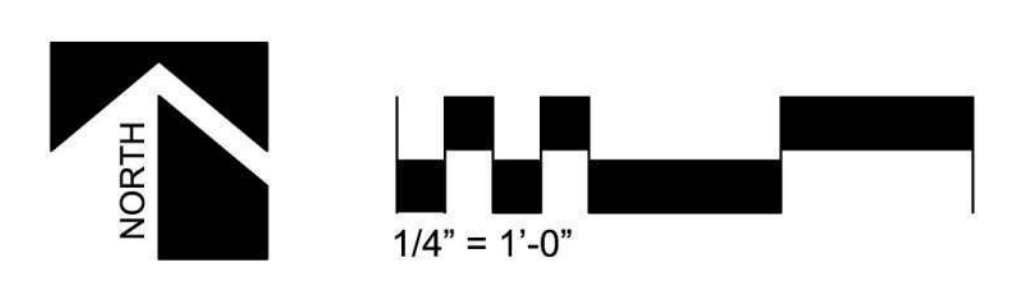
4 WEST ELEVATION (LEFT)
1/8" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : MAJOR A
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.1A

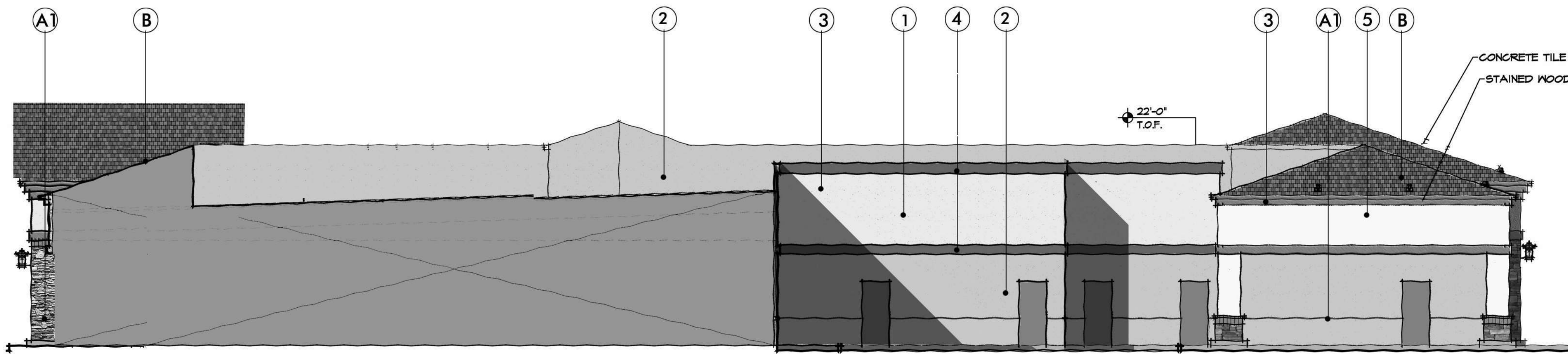
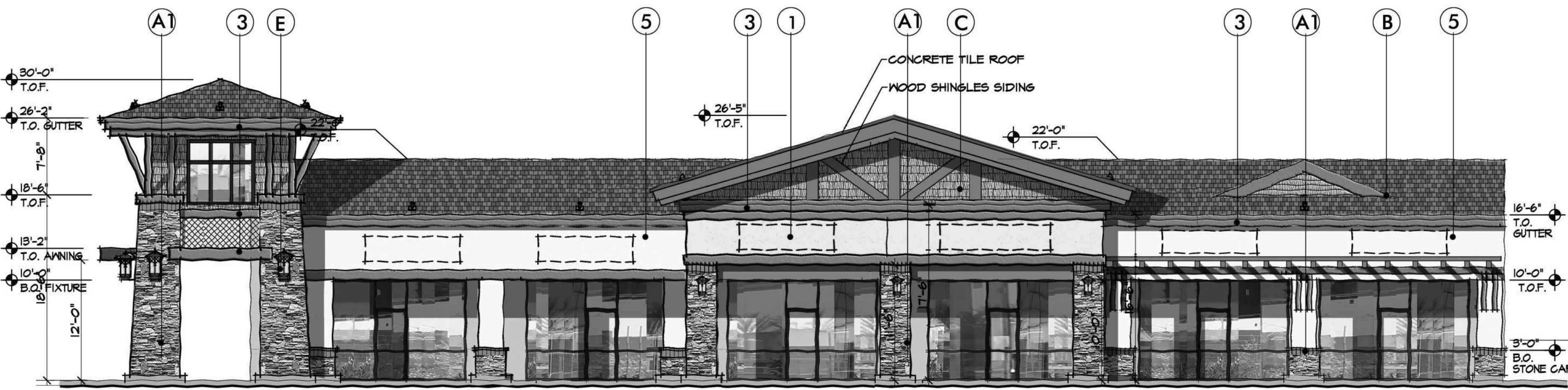
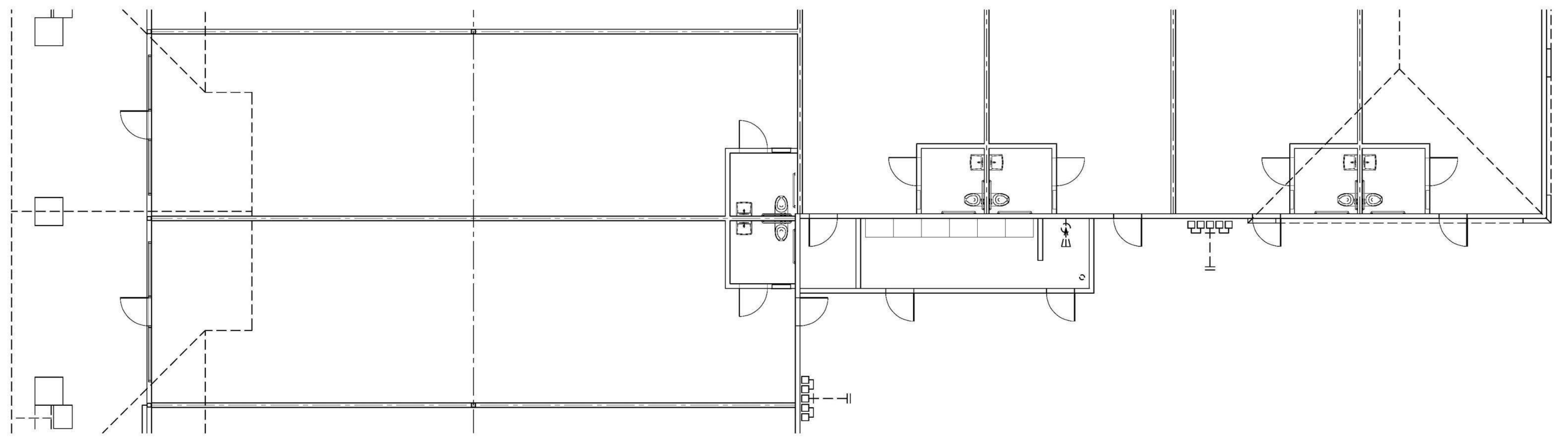
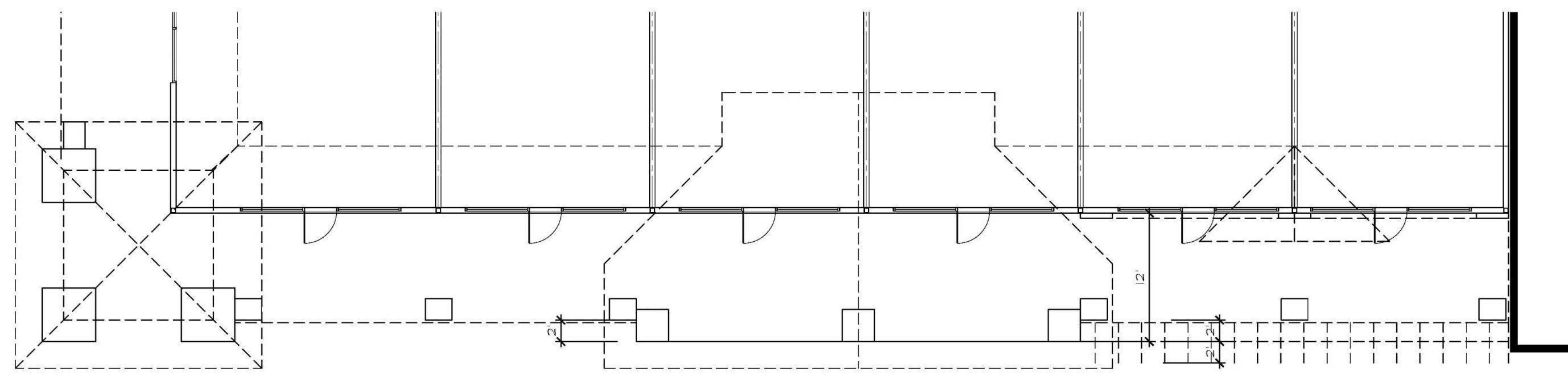
JOB #: 22002
DATE: 06/08/2022



NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

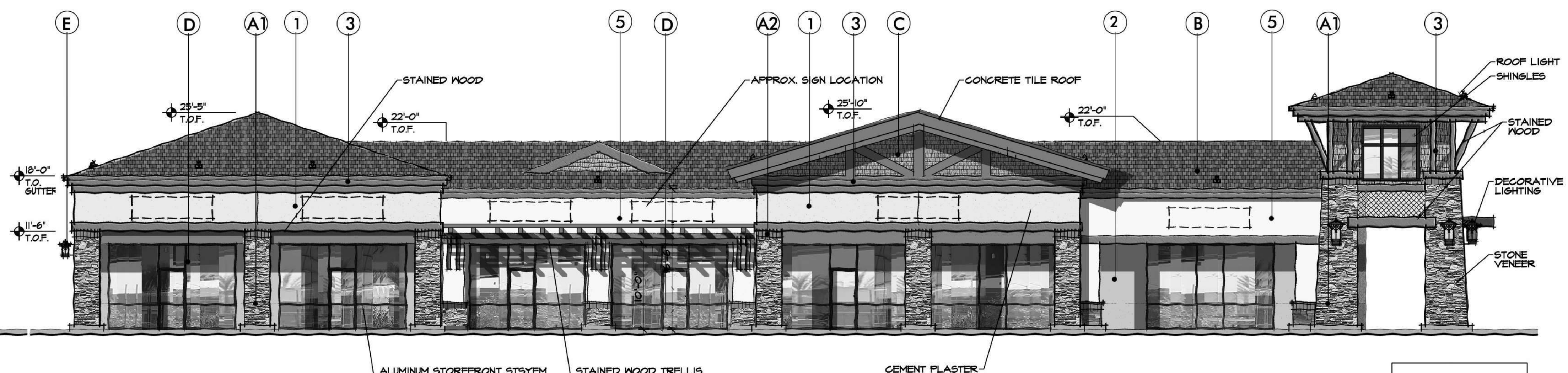
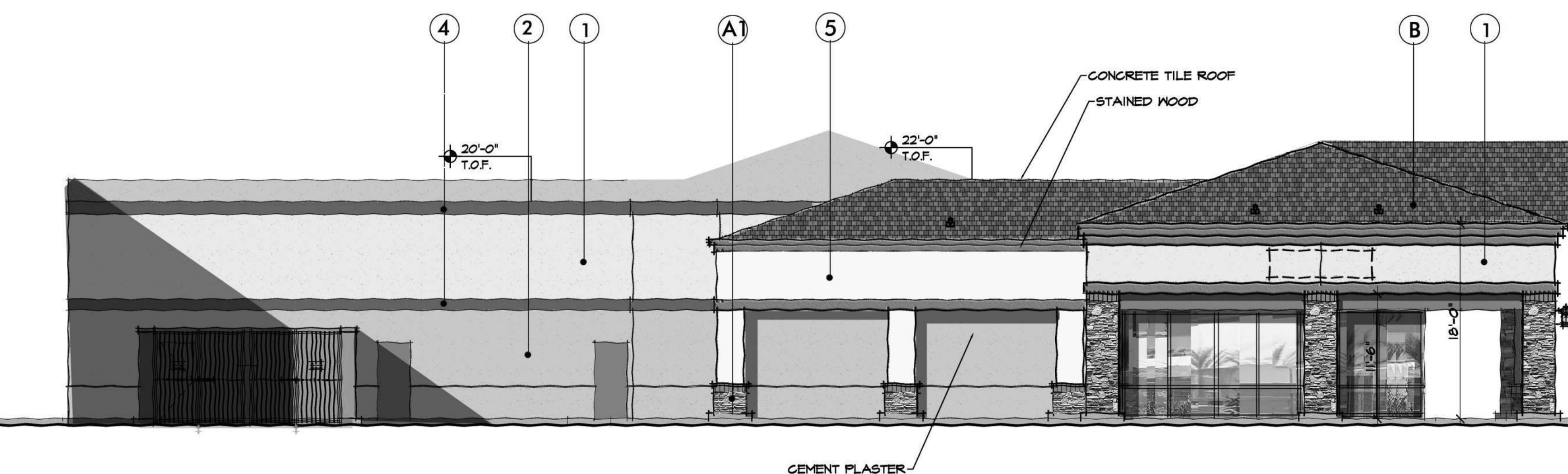
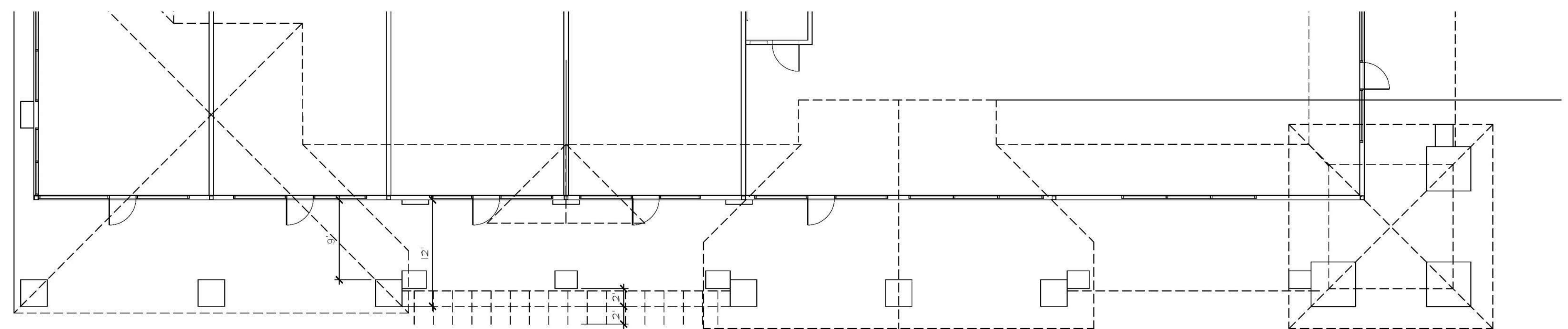
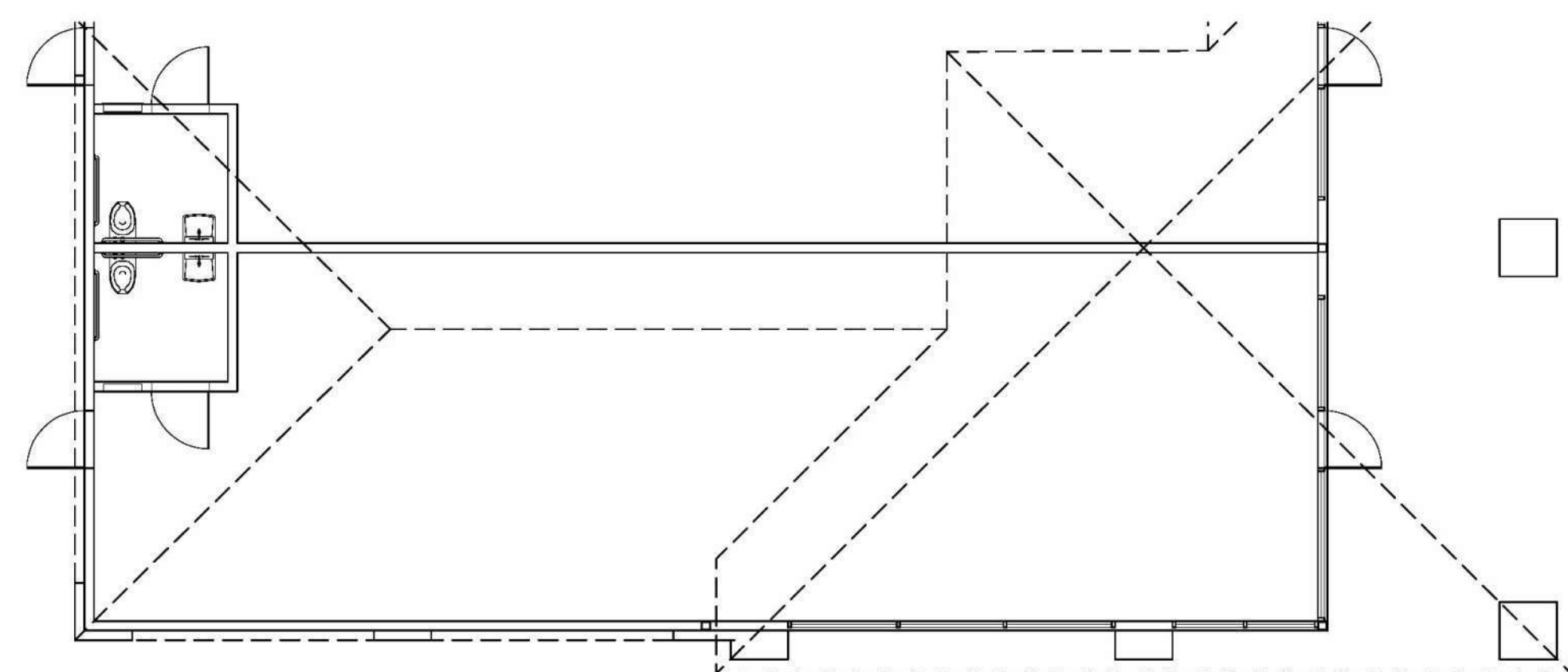


ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.



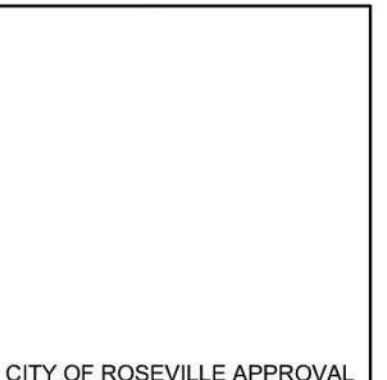
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"

2 EAST ELEVATION (RIGHT)
1/8" = 1'-0"



3 NORTH ELEVATION (BACK)
1/8" = 1'-0"

4 WEST ELEVATION (LEFT)
1/8" = 1'-0"



ELEVATIONS : SHOPS 1
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

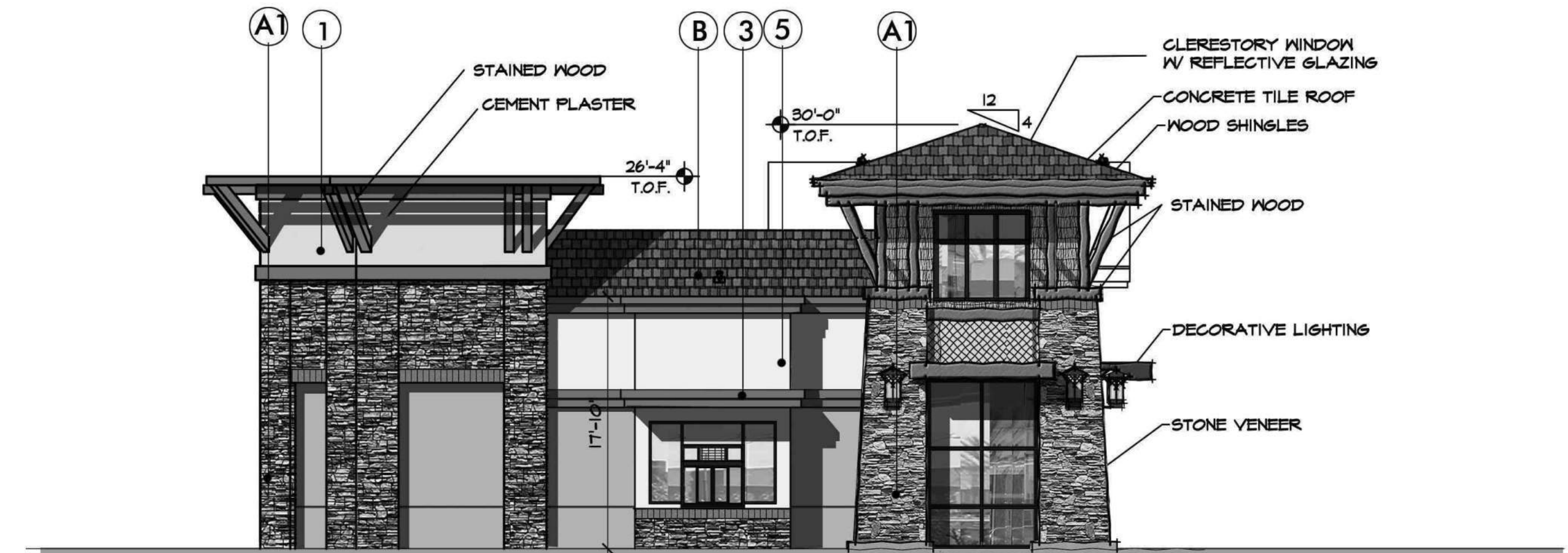
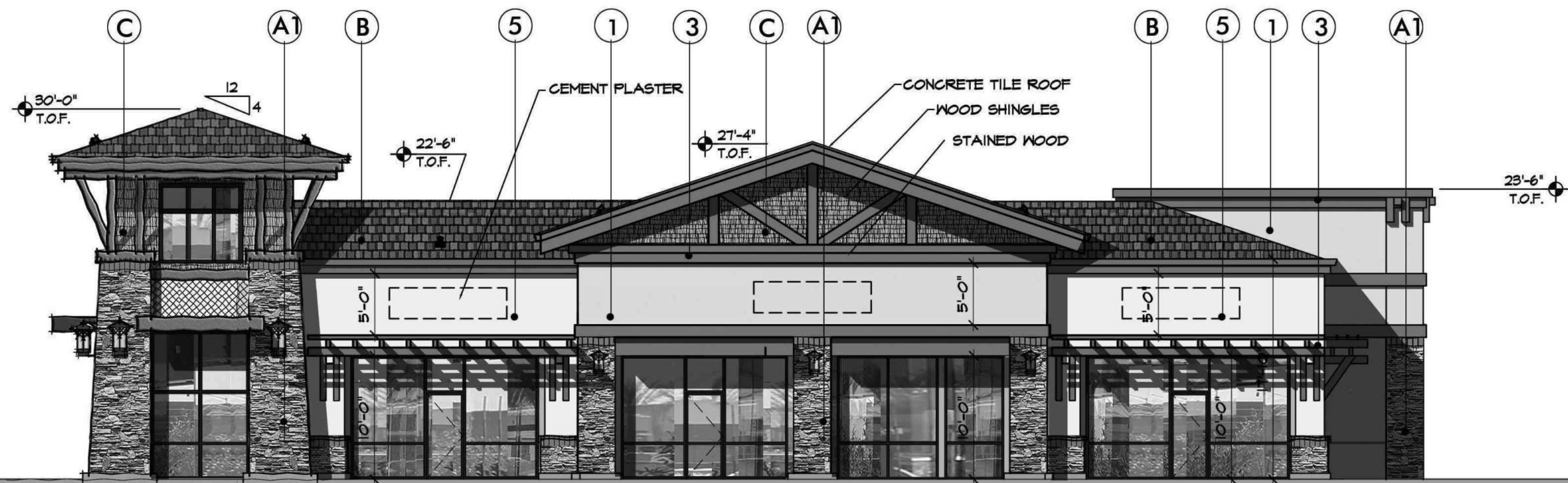
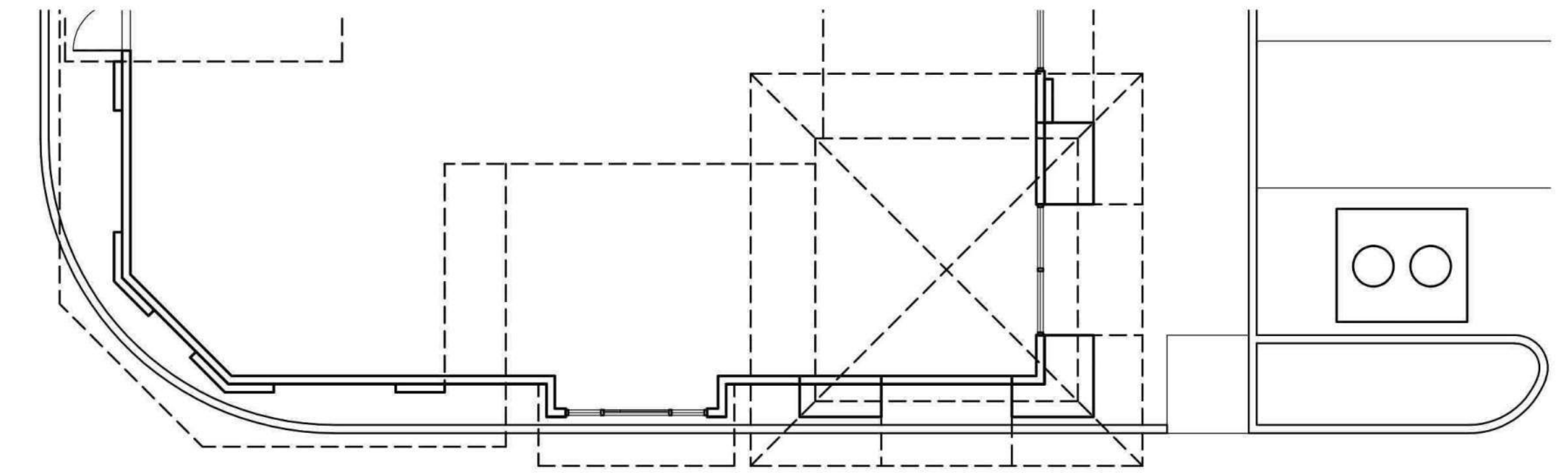
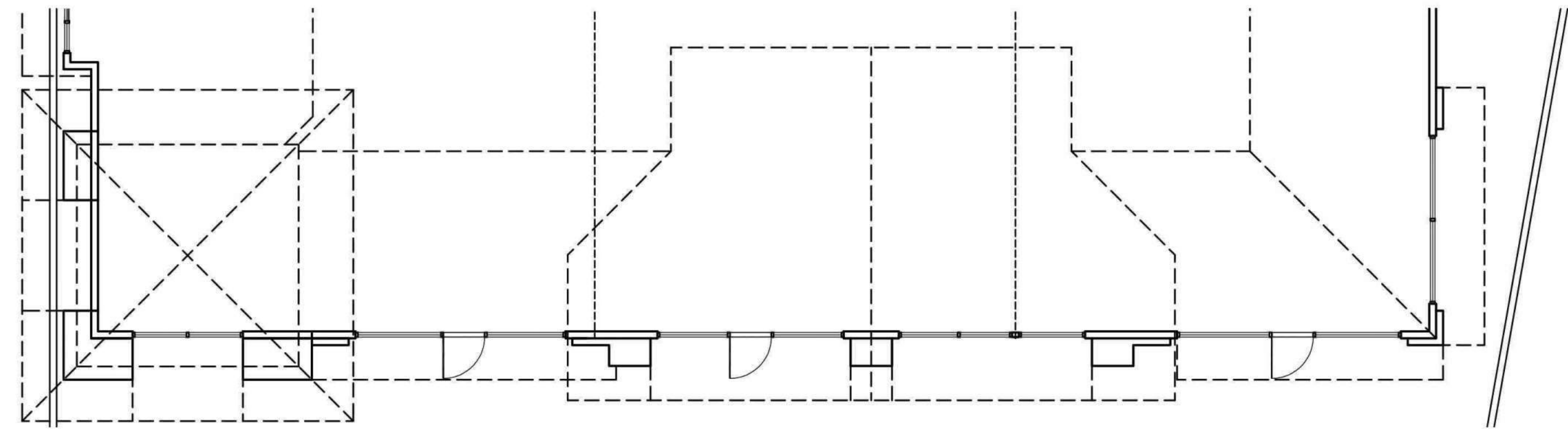
SHEET C2.1 B

JOB #: 22002
DATE: 03/15/2022



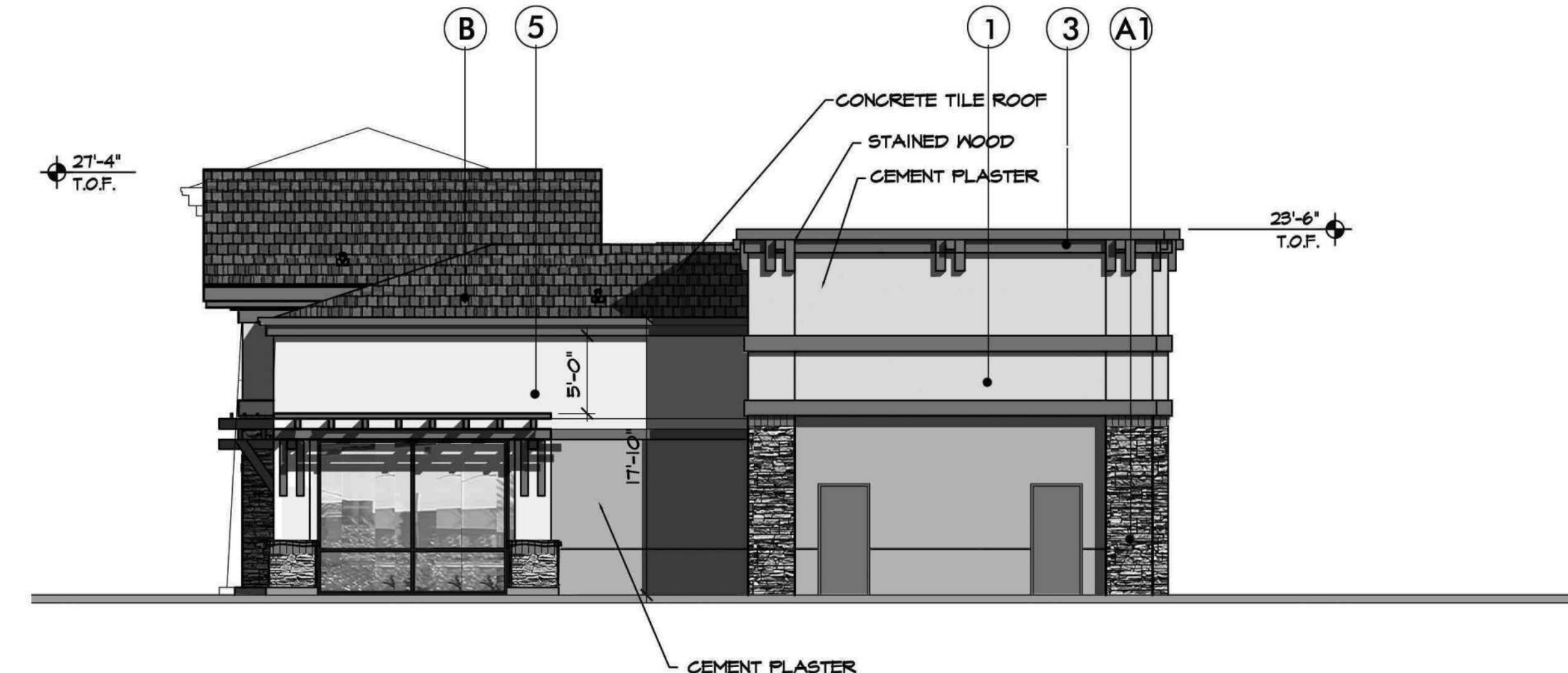
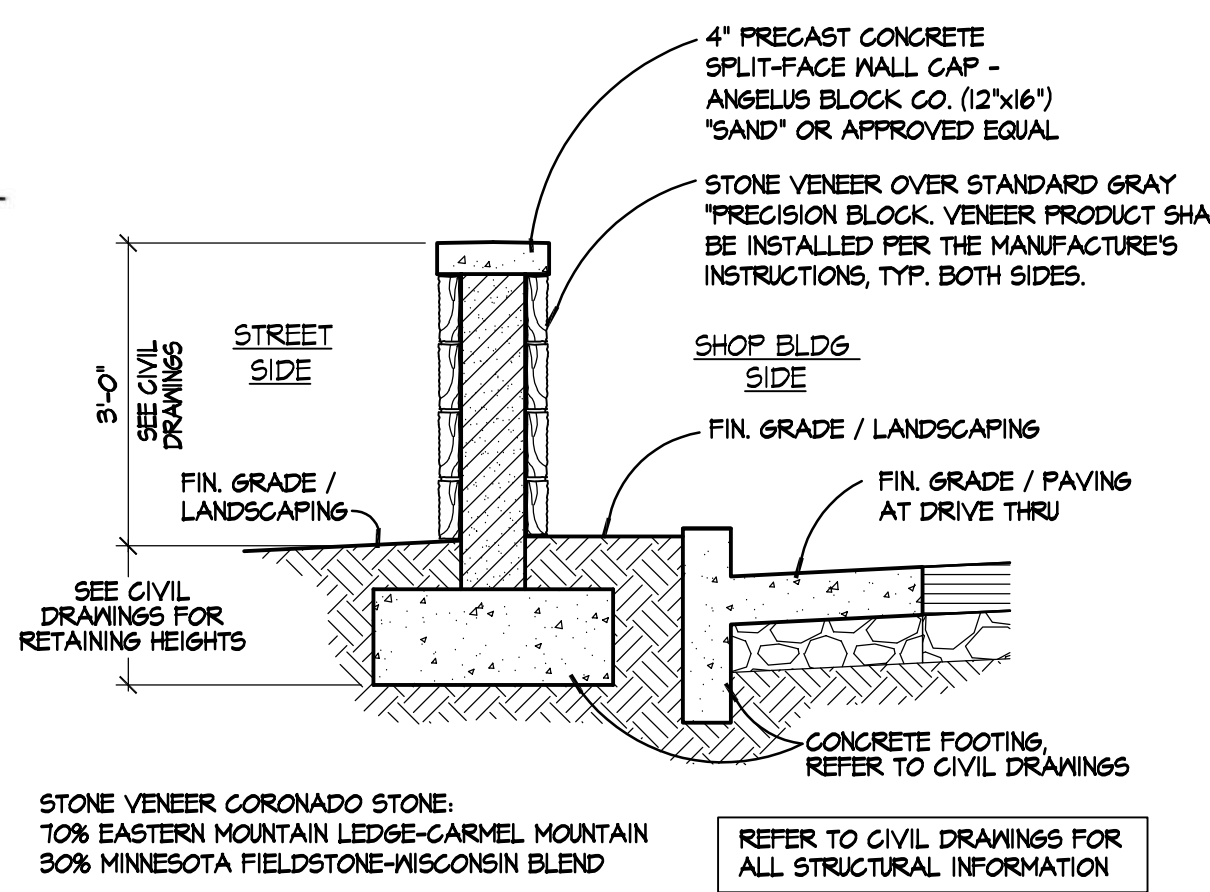
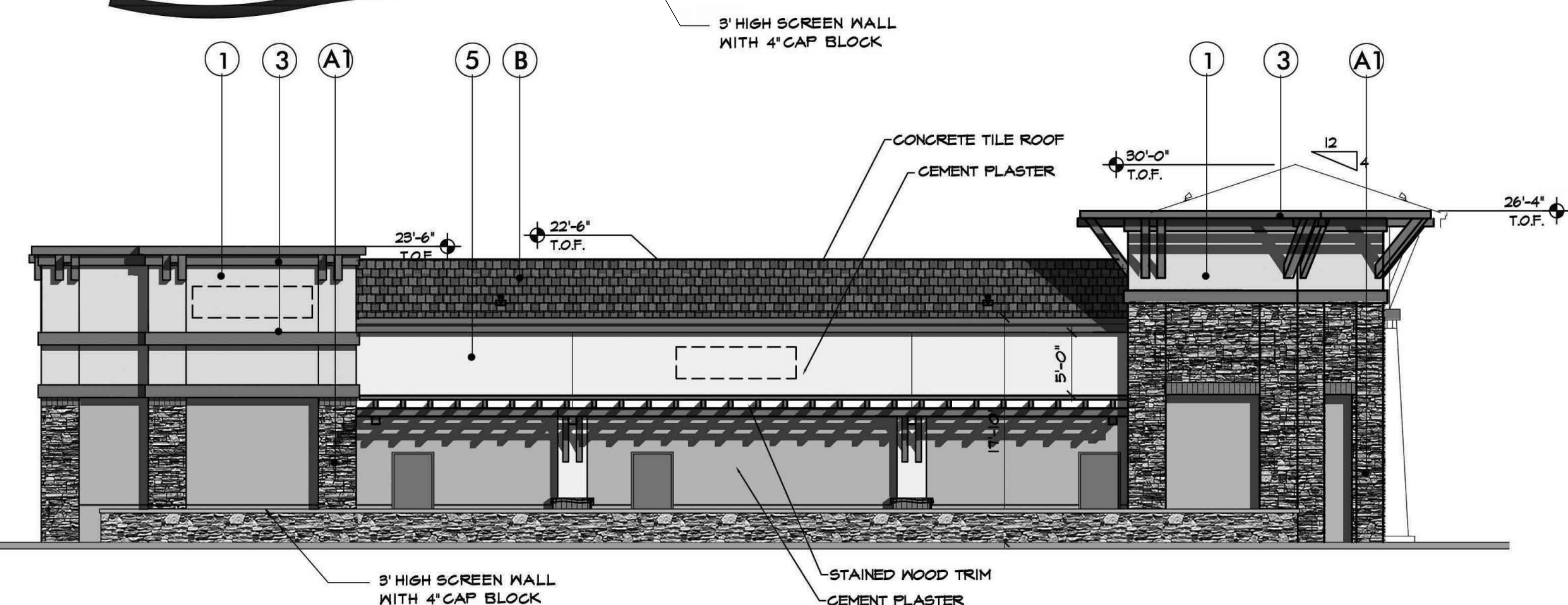
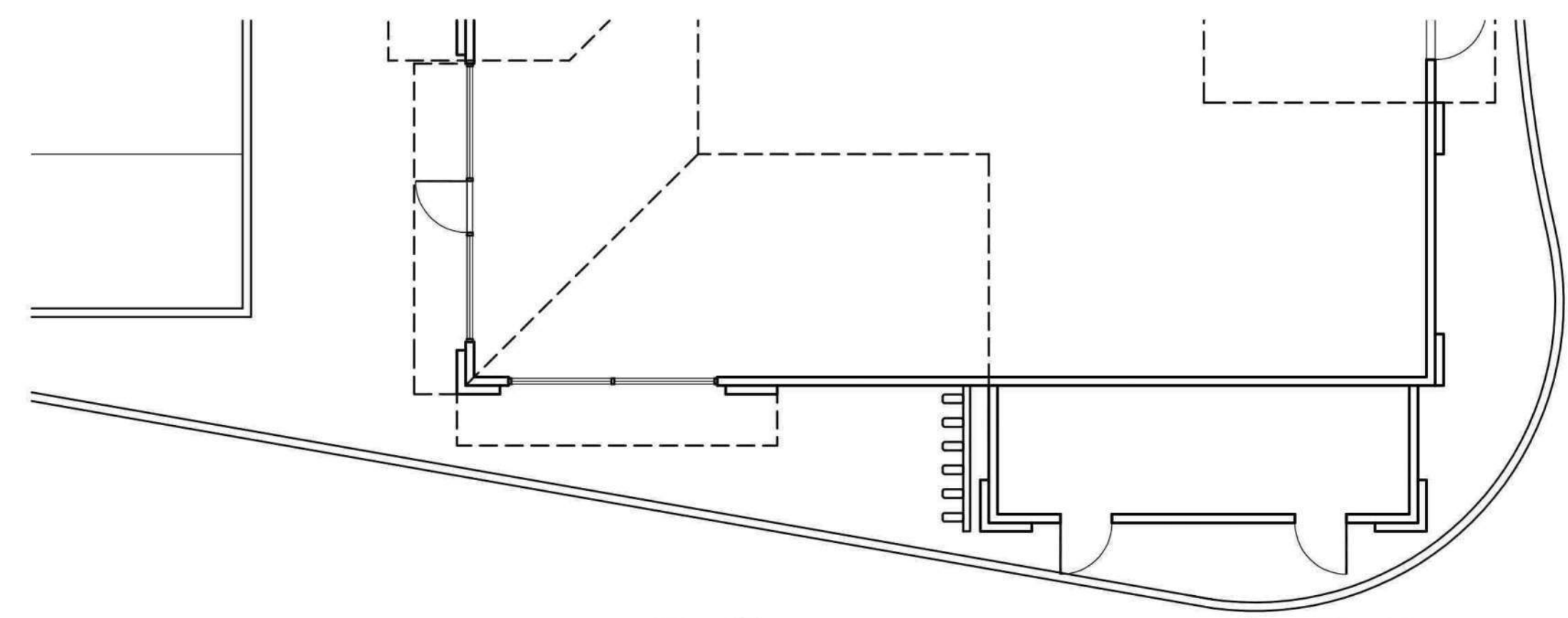
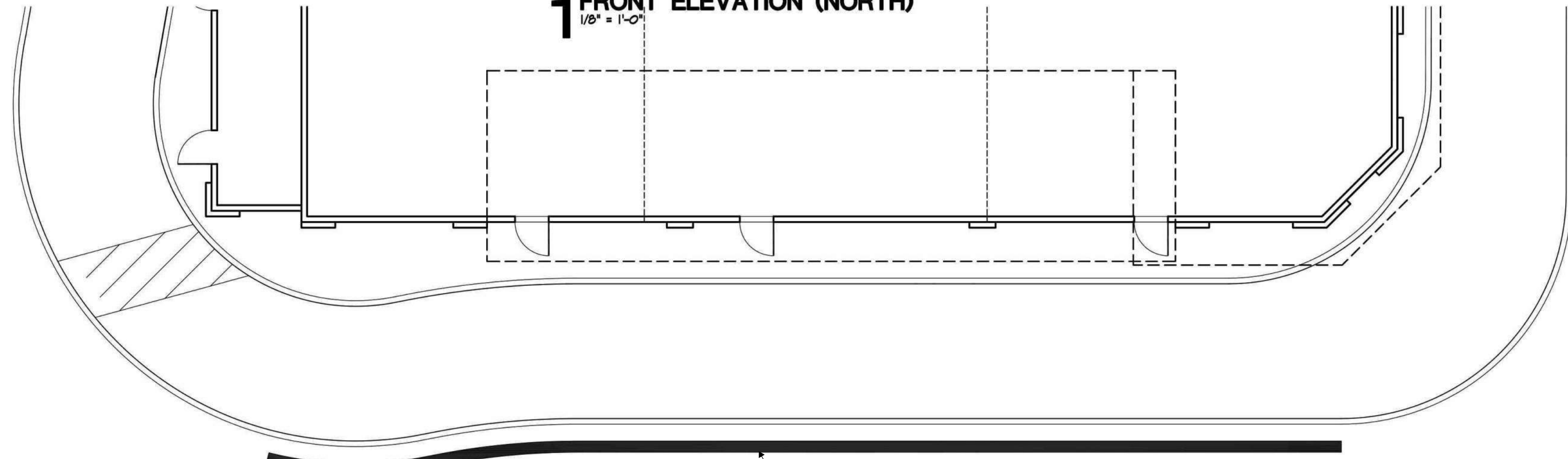
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM





1 FRONT ELEVATION (NORTH)
1/8" = 1'-0"

2 LEFT ELEVATION (EAST)
1/8" = 1'-0"



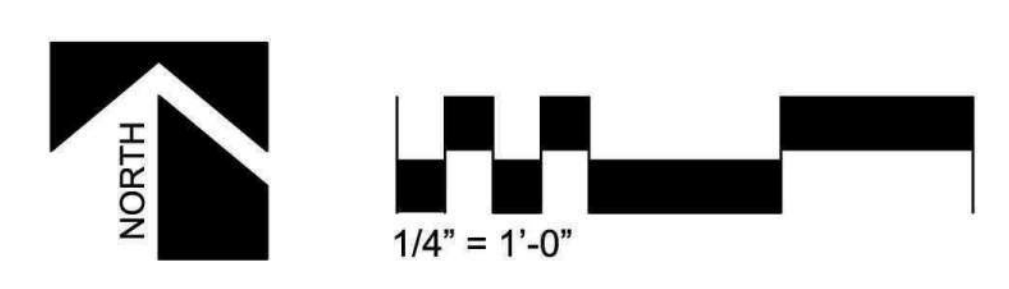
3 REAR ELEVATION (SOUTH)
1/8" = 1'-0"

4 RIGHT ELEVATION (WEST)
1/8" = 1'-0"

ELEVATIONS : PAD B
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.1C

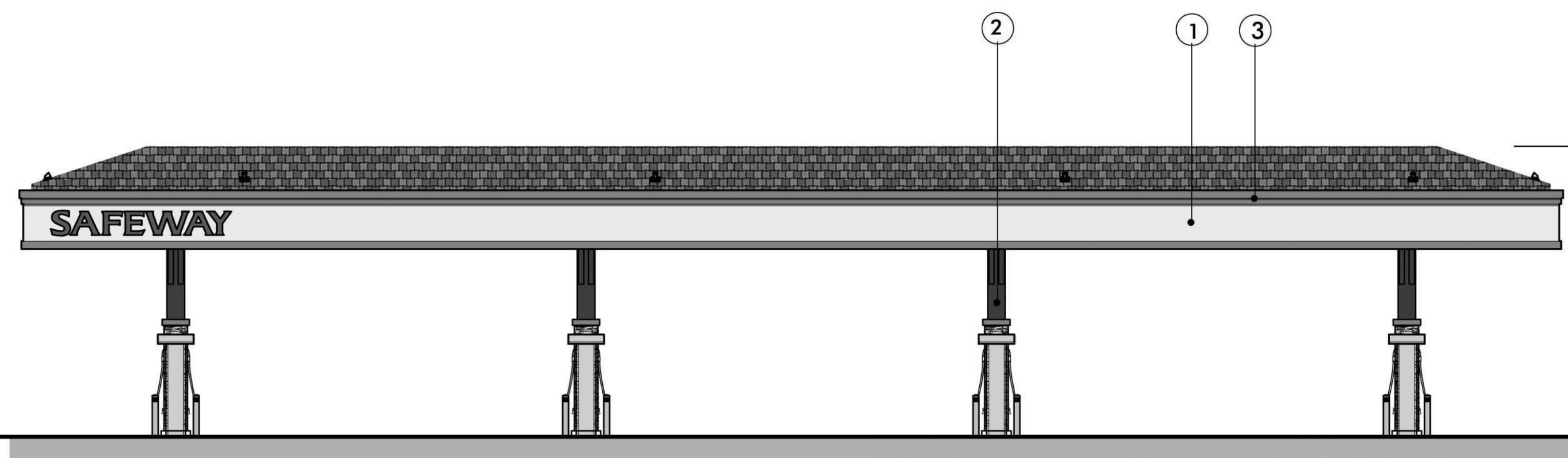
JOB #: 22002
DATE: 08/11/2022



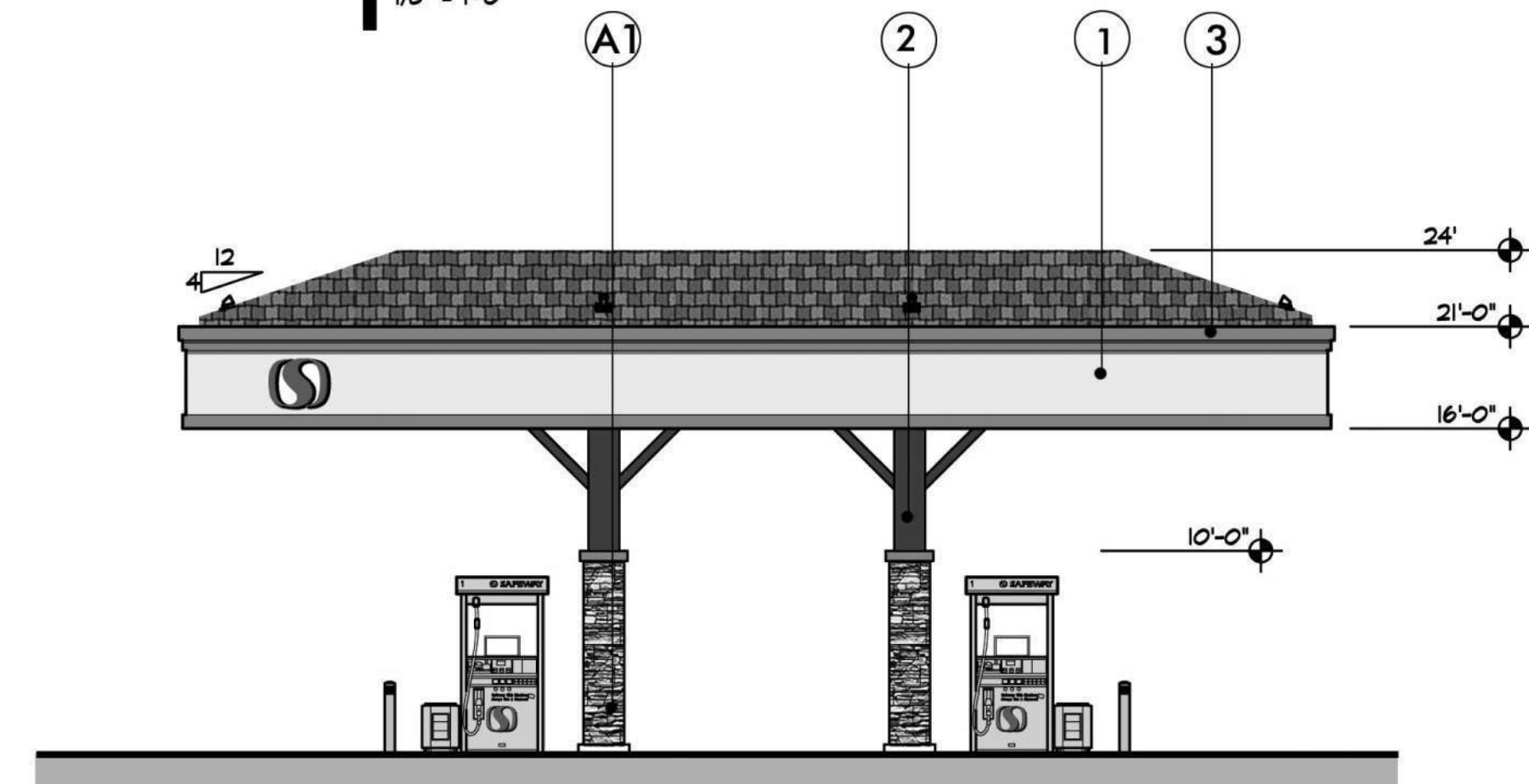
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM



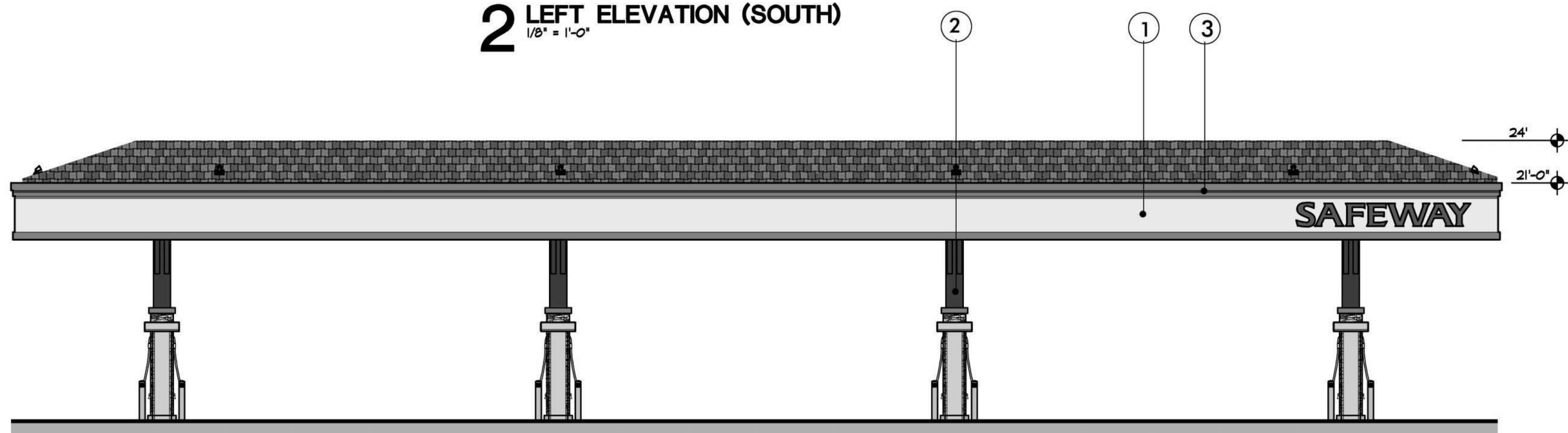
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.



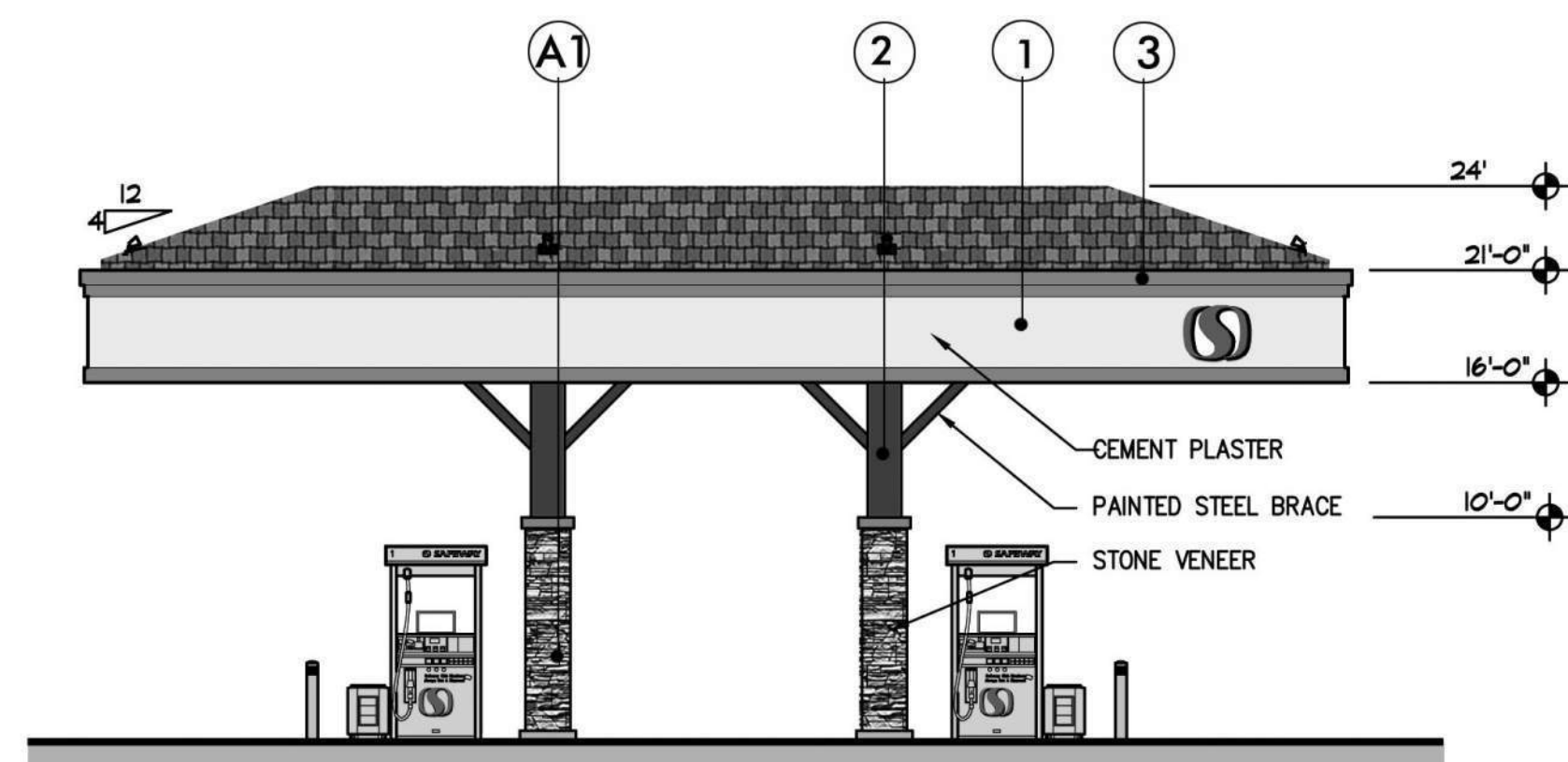
1 FRONT ELEVATION (EAST)
1/8" = 1'-0"



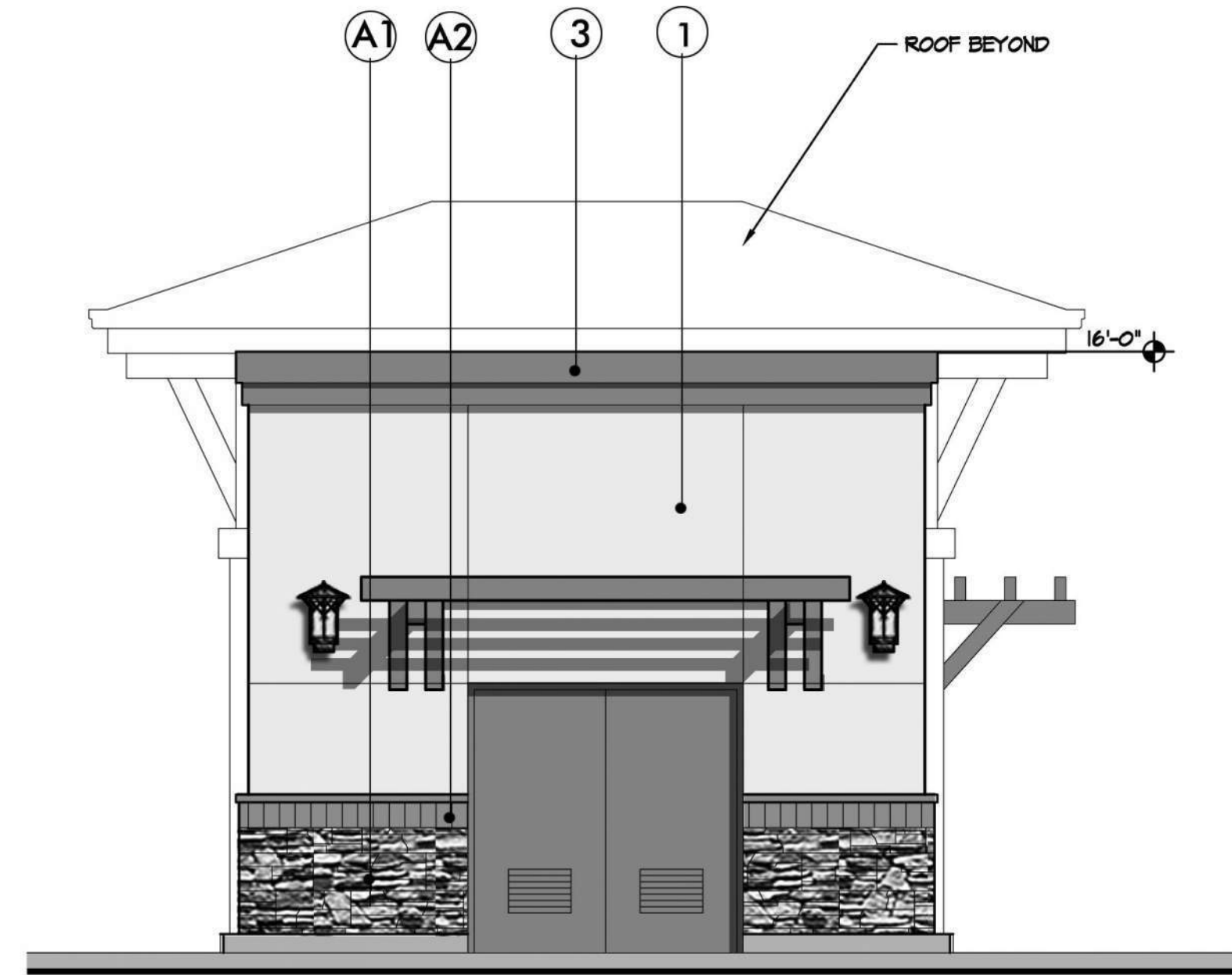
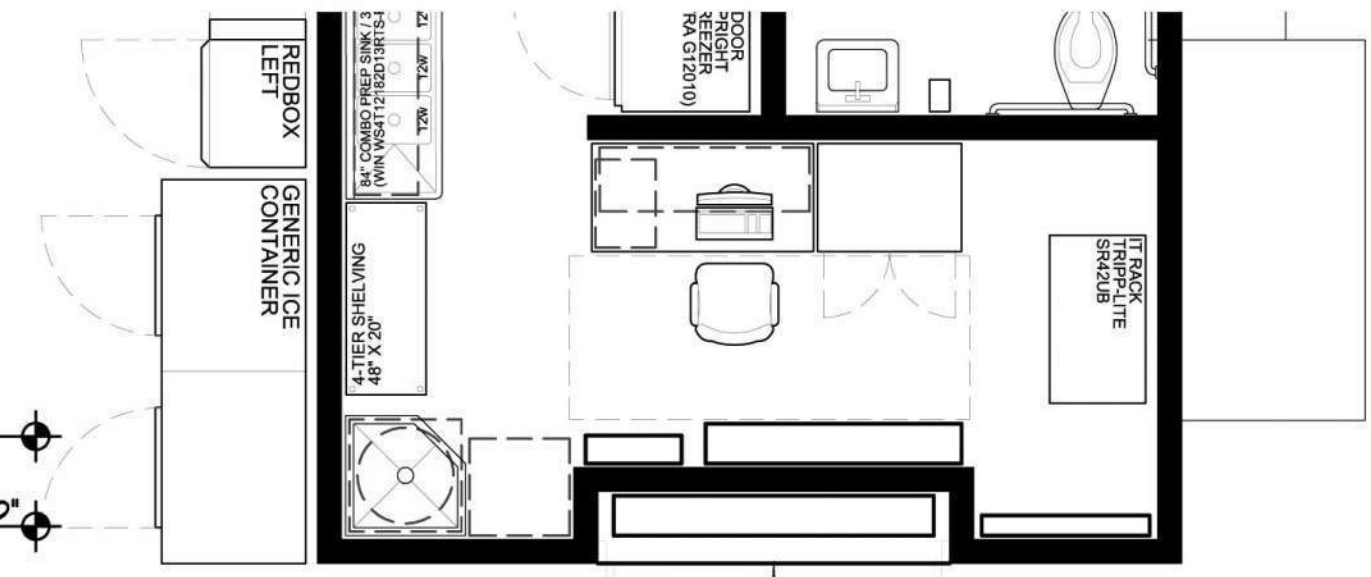
2 LEFT ELEVATION (SOUTH)
1/8" = 1'-0"



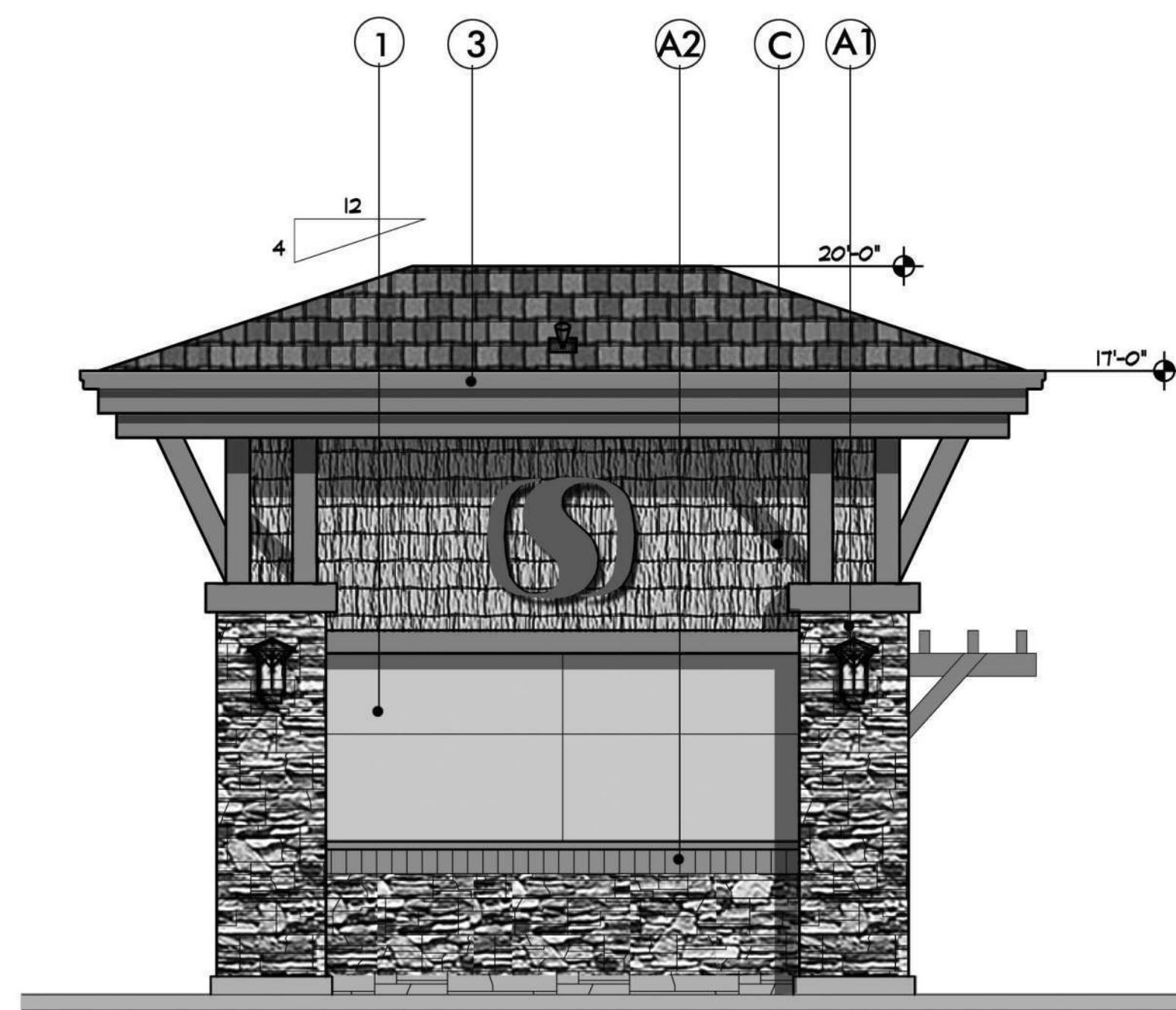
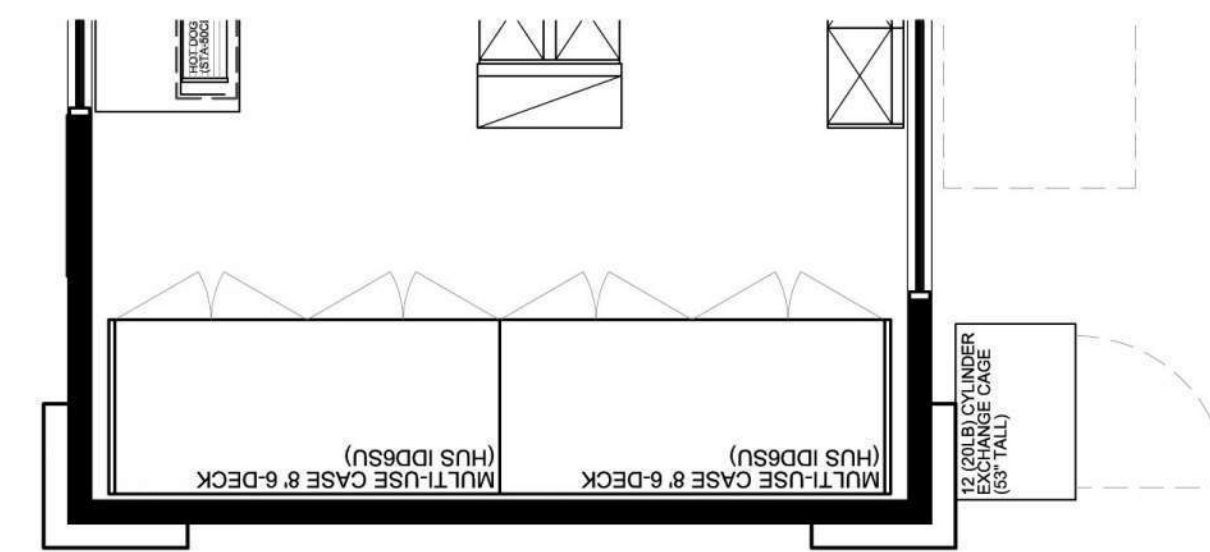
3 REAR ELEVATION (WEST)
1/8" = 1'-0"



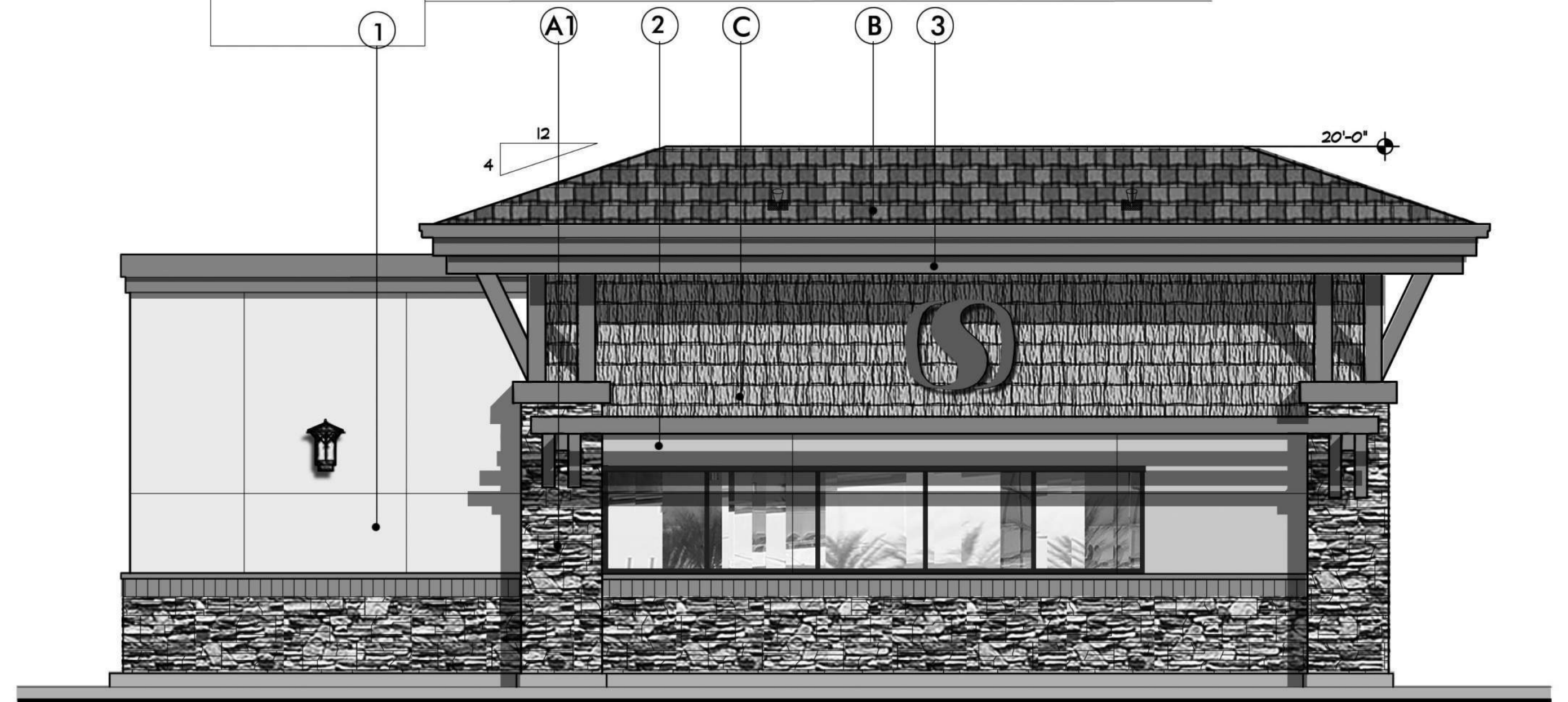
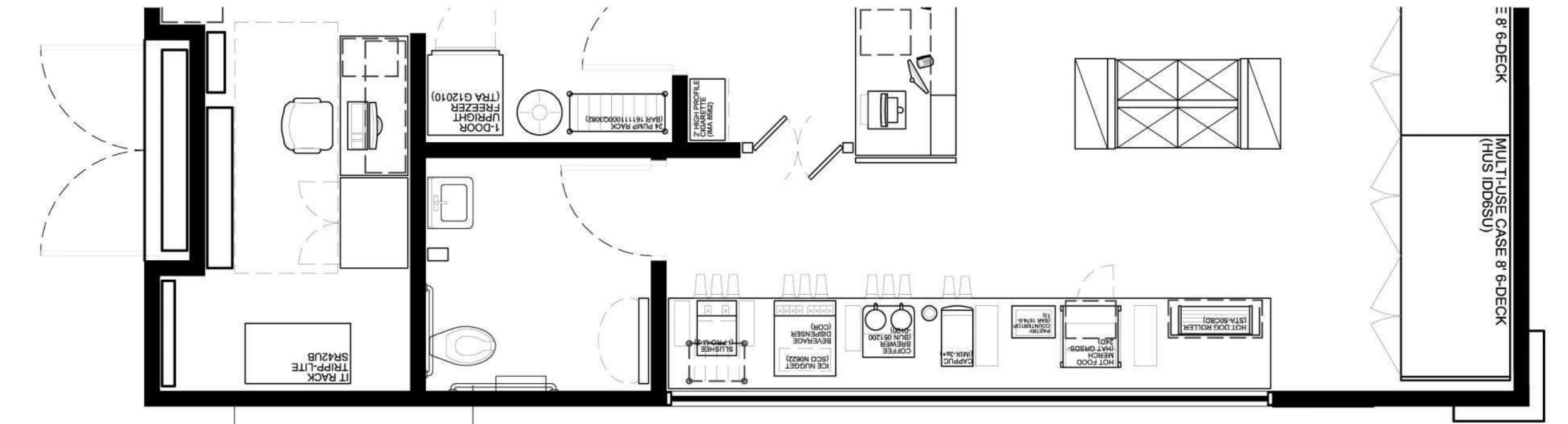
4 RIGHT ELEVATION (NORTH)
1/8" = 1'-0"



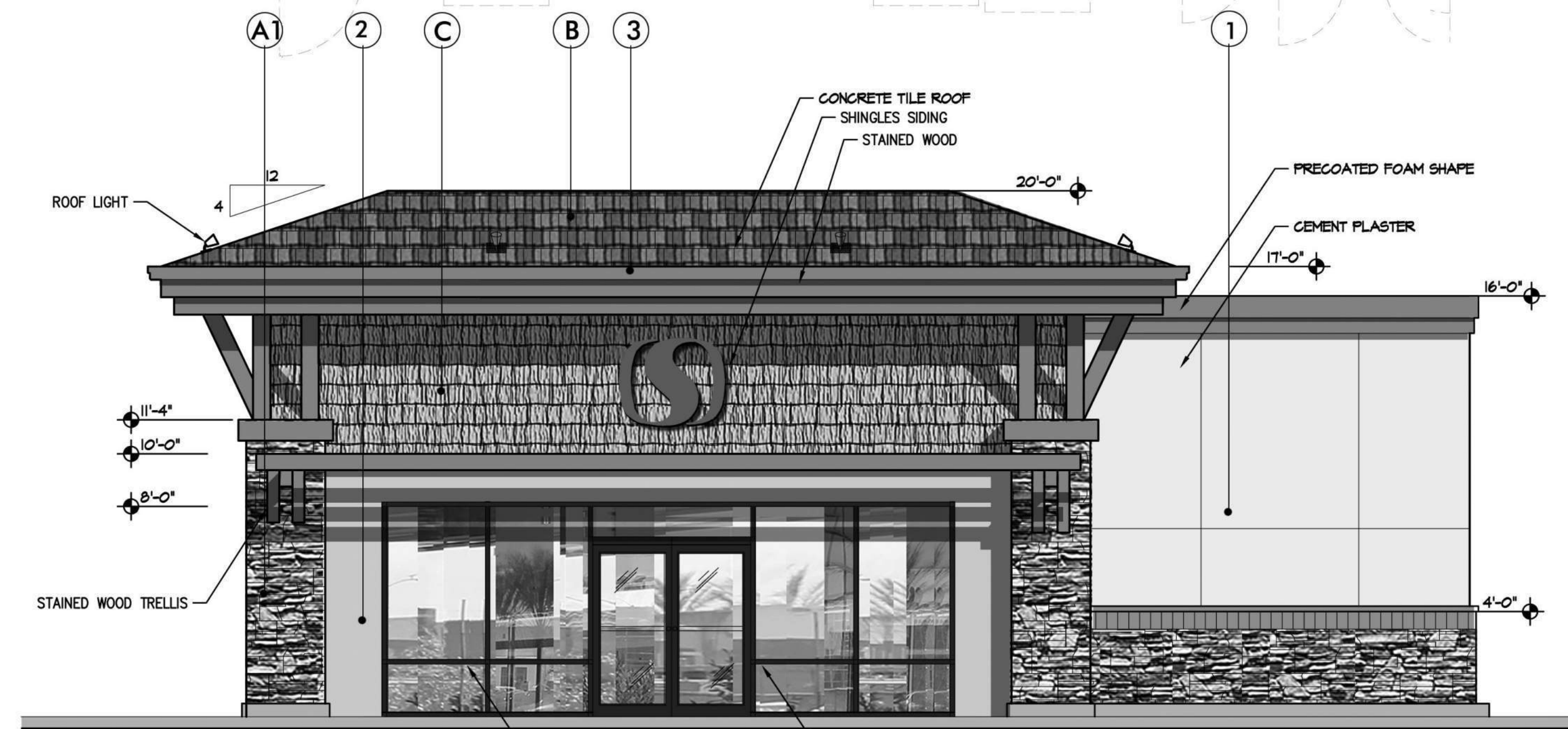
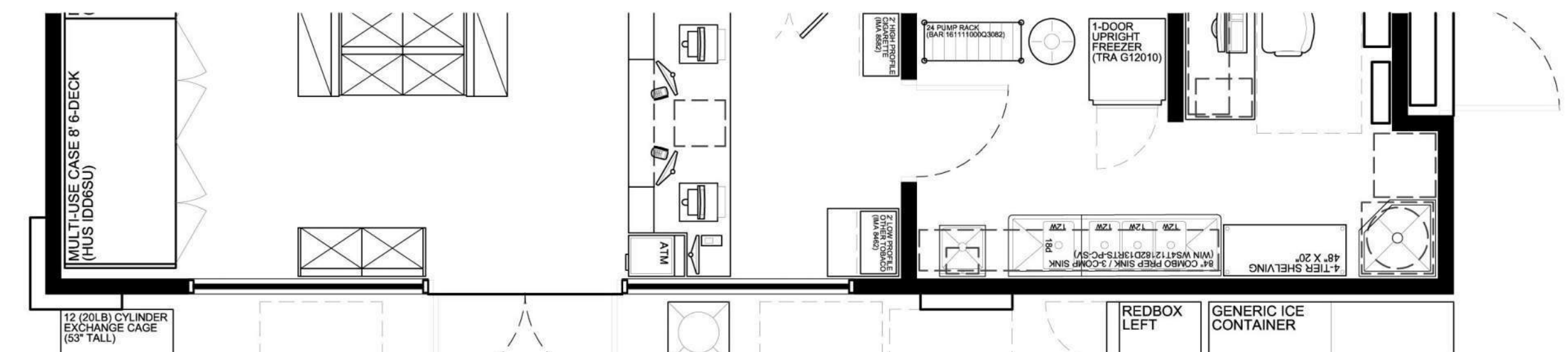
5 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"



7 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



6 REAR ELEVATION (WEST)
1/4" = 1'-0"



8 FRONT ELEVATION (EAST)
1/4" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : FUEL CENTER
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

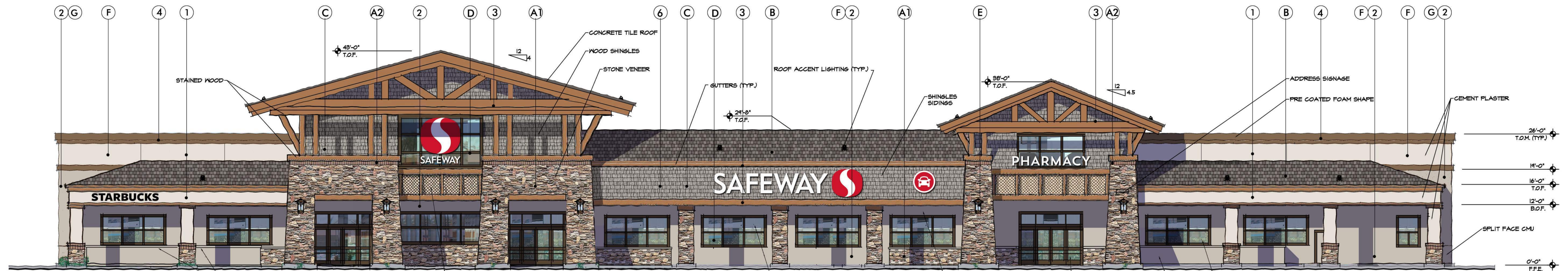
SHEET C2.1D

JOB #: 22002
DATE: 03/15/2022

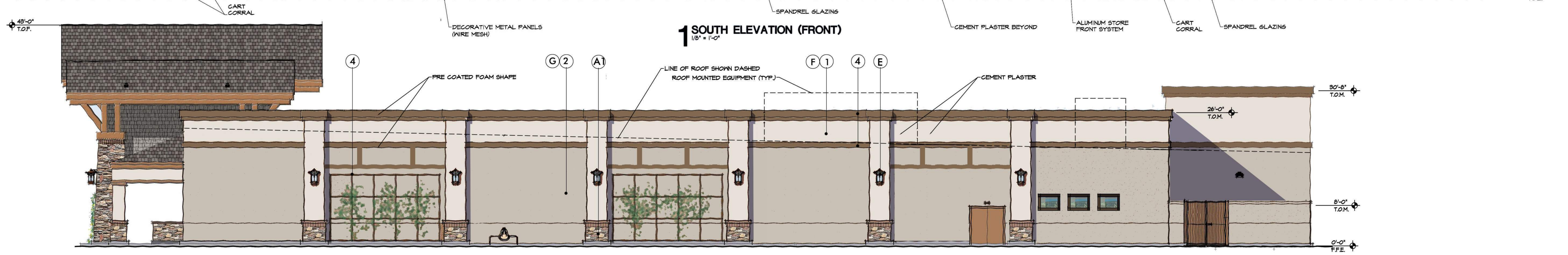


NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

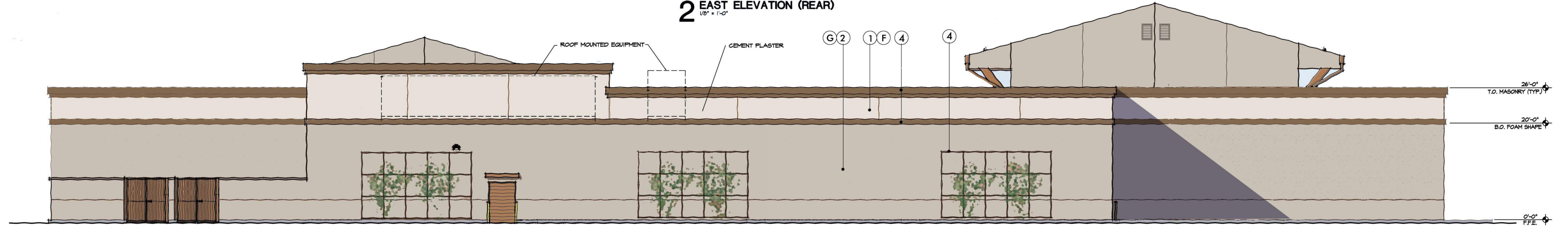
NADEL



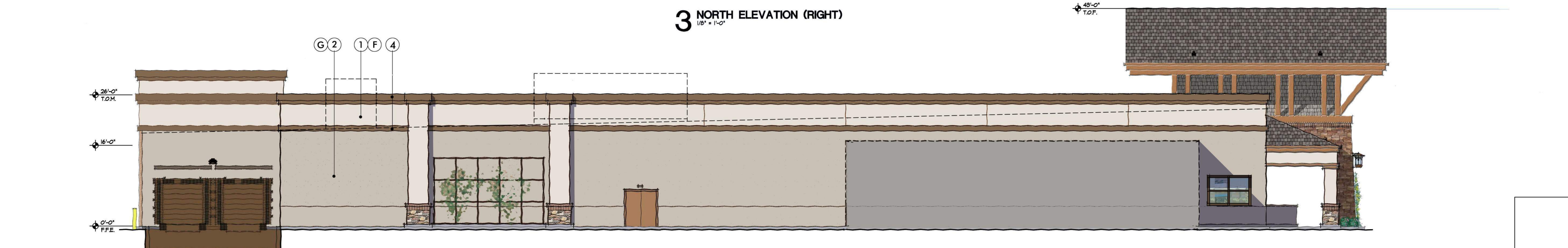
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"



2 EAST ELEVATION (REAR)
1/8" = 1'-0"



3 NORTH ELEVATION (RIGHT)
1/8" = 1'-0"



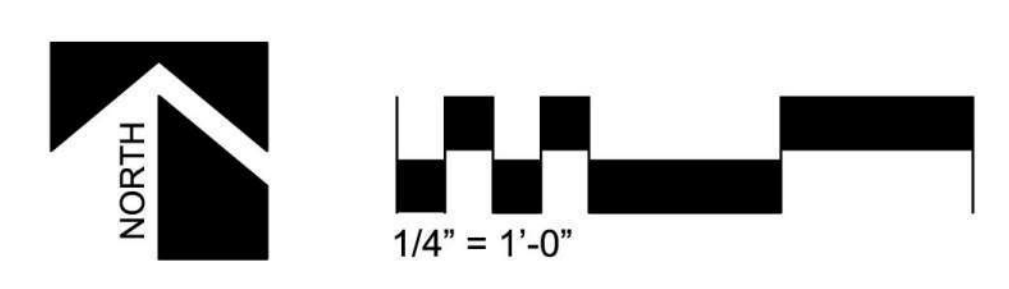
4 WEST ELEVATION (LEFT)
1/8" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : MAJOR A
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.2A

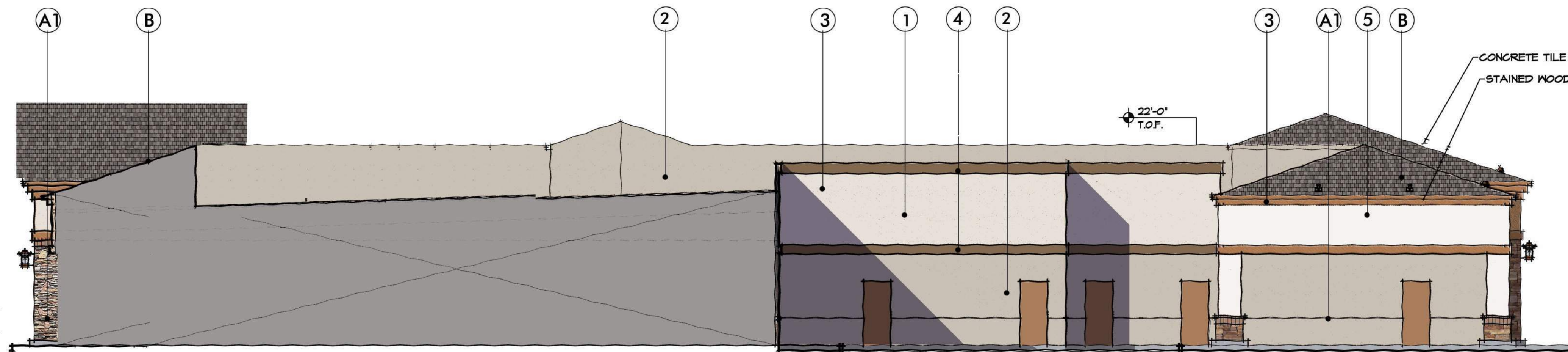
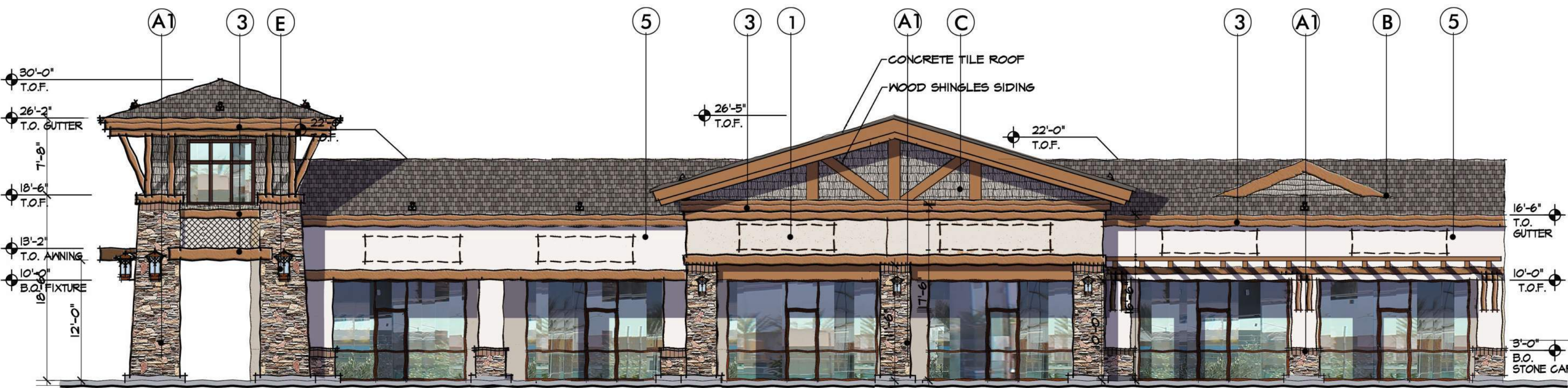
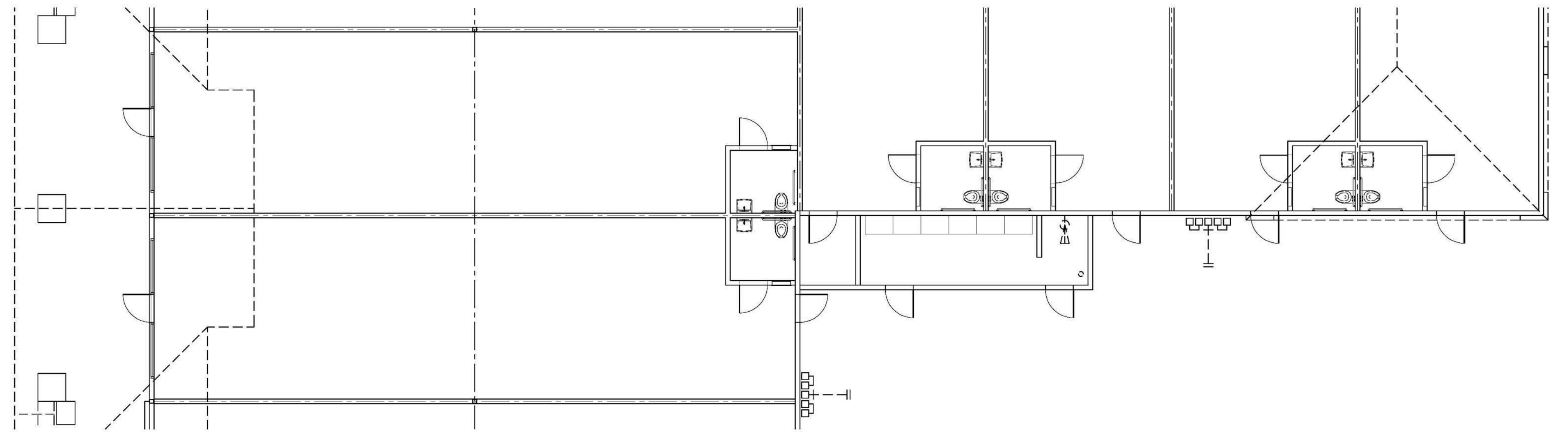
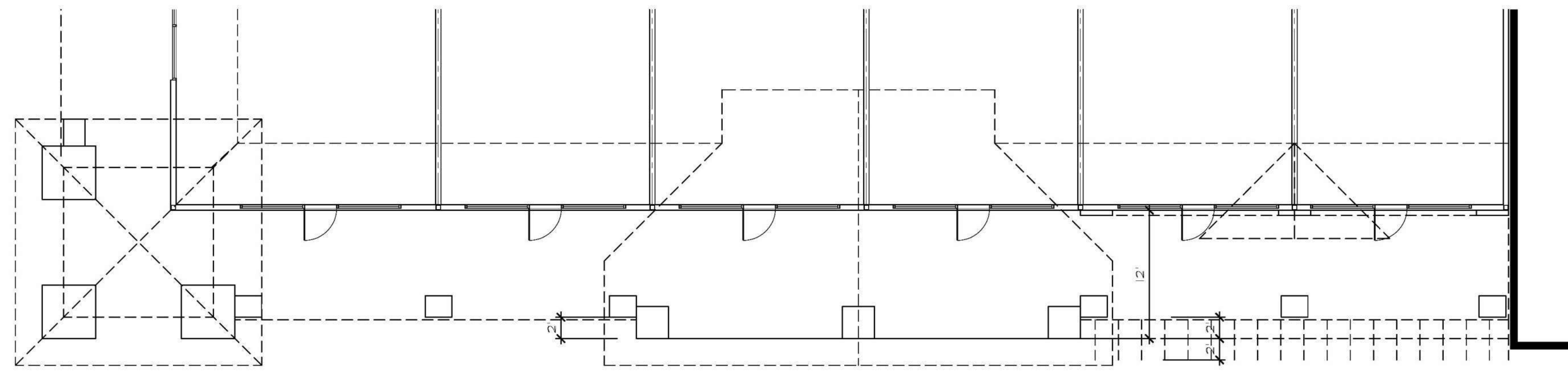
JOB #: 22002
DATE: 06/08/2022



NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

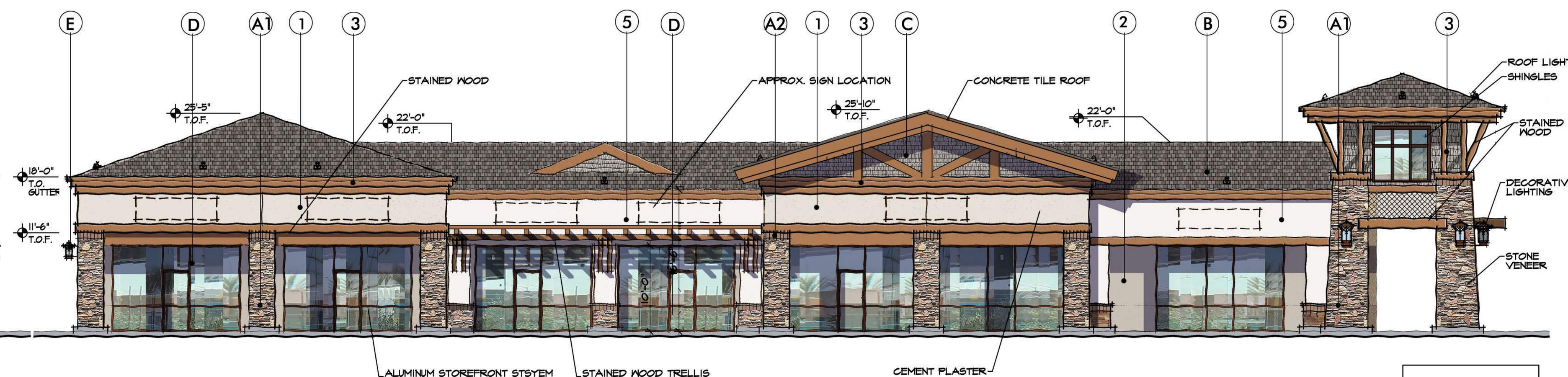
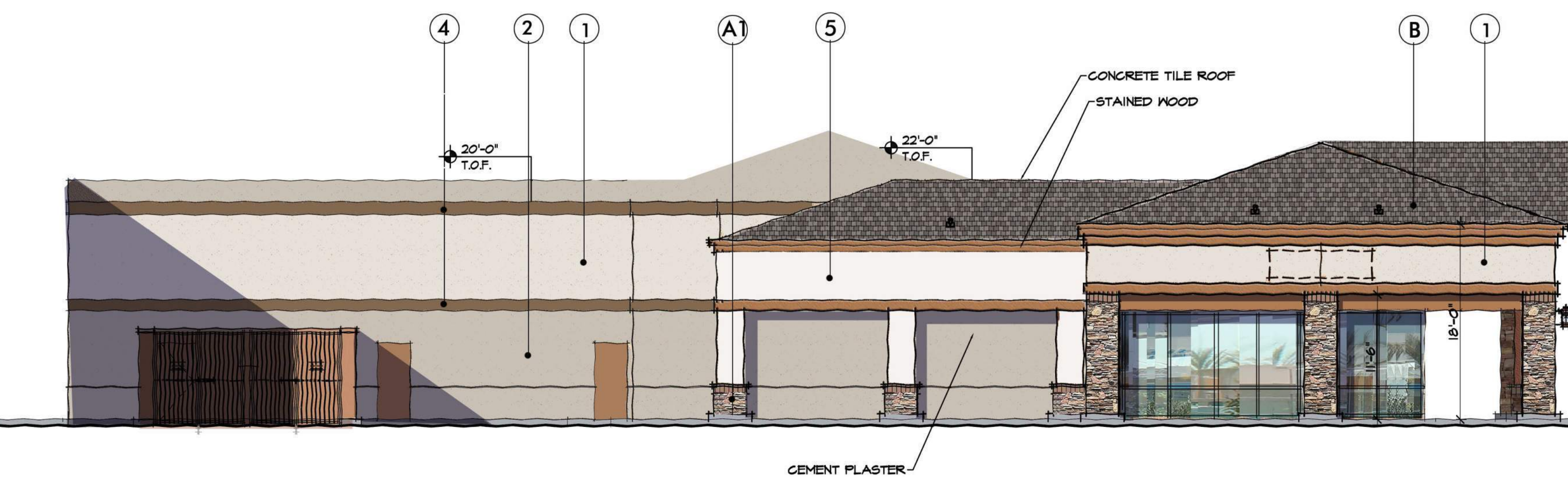
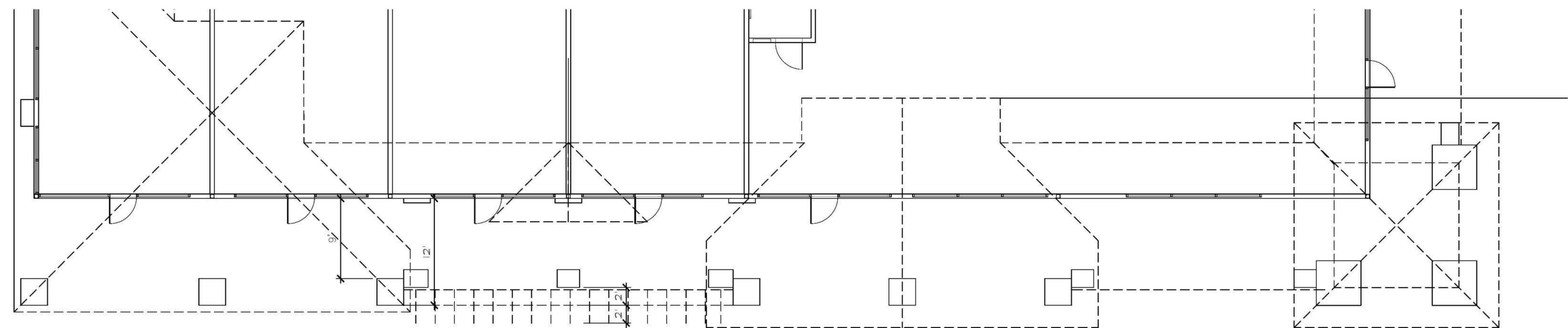
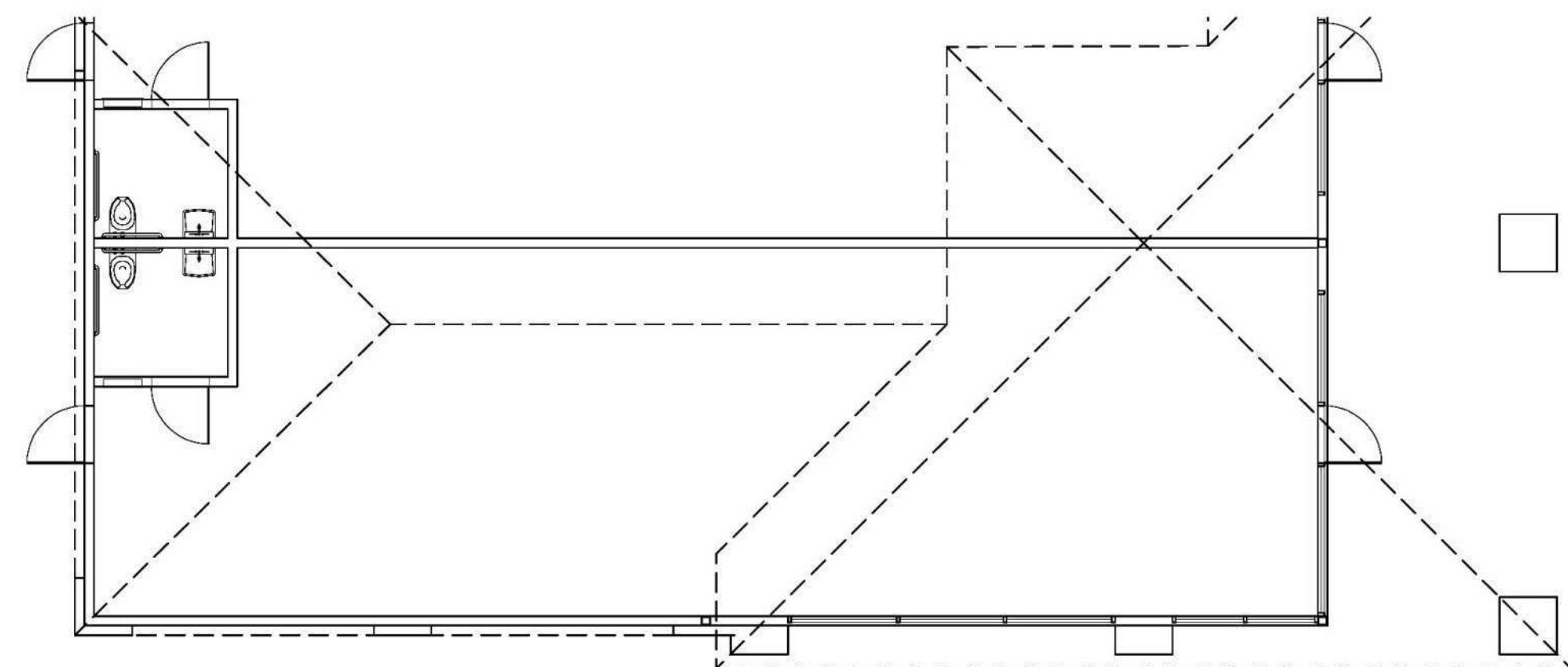


ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.



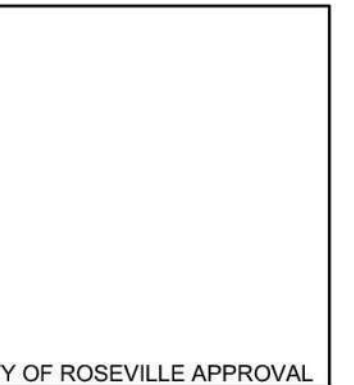
1 SOUTH ELEVATION (FRONT)
1/8" = 1'-0"

2 EAST ELEVATION (RIGHT)
1/8" = 1'-0"



3 NORTH ELEVATION (BACK)
1/8" = 1'-0"

4 WEST ELEVATION (LEFT)
1/8" = 1'-0"



ELEVATIONS : SHOPS 1
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

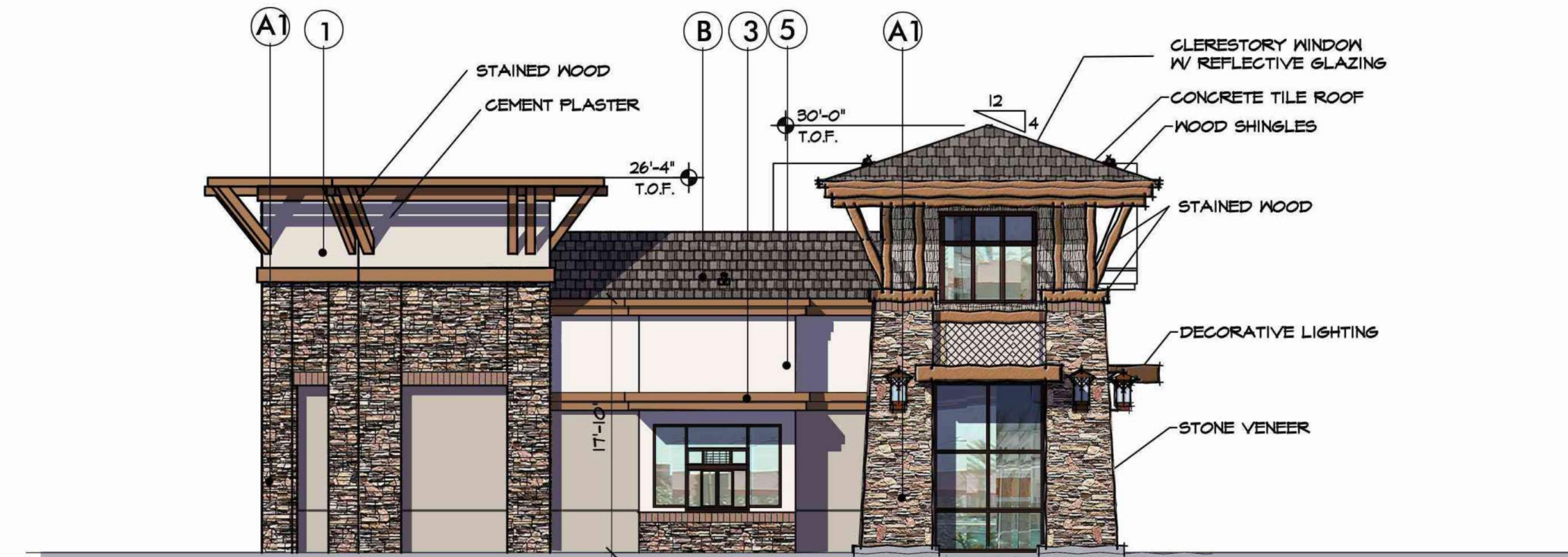
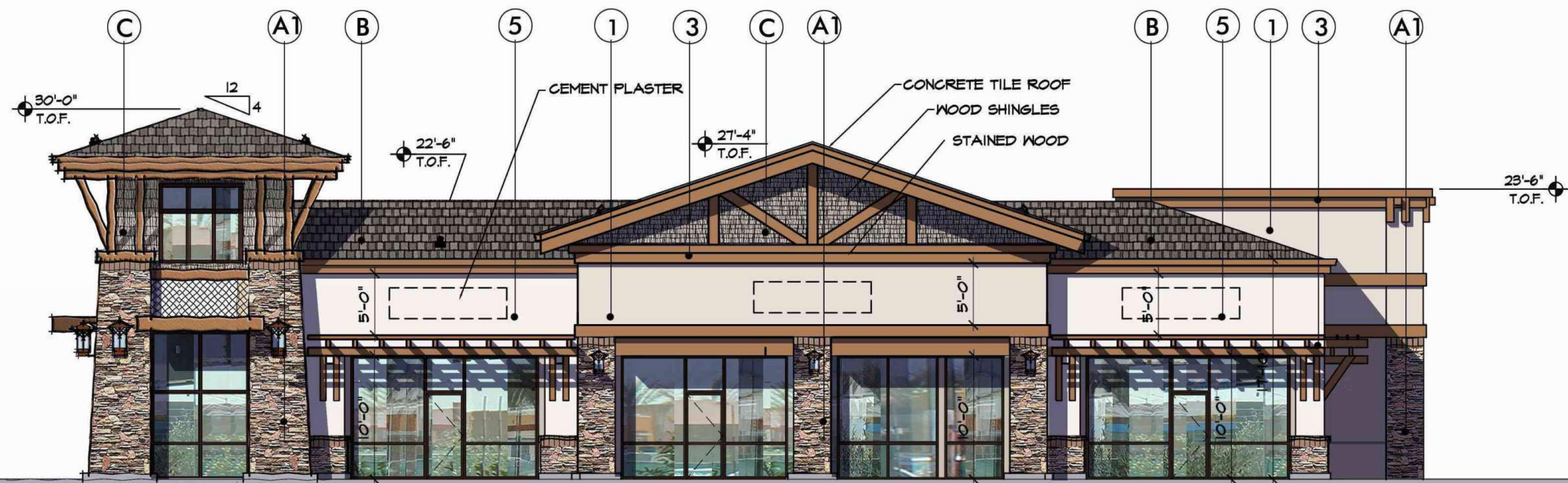
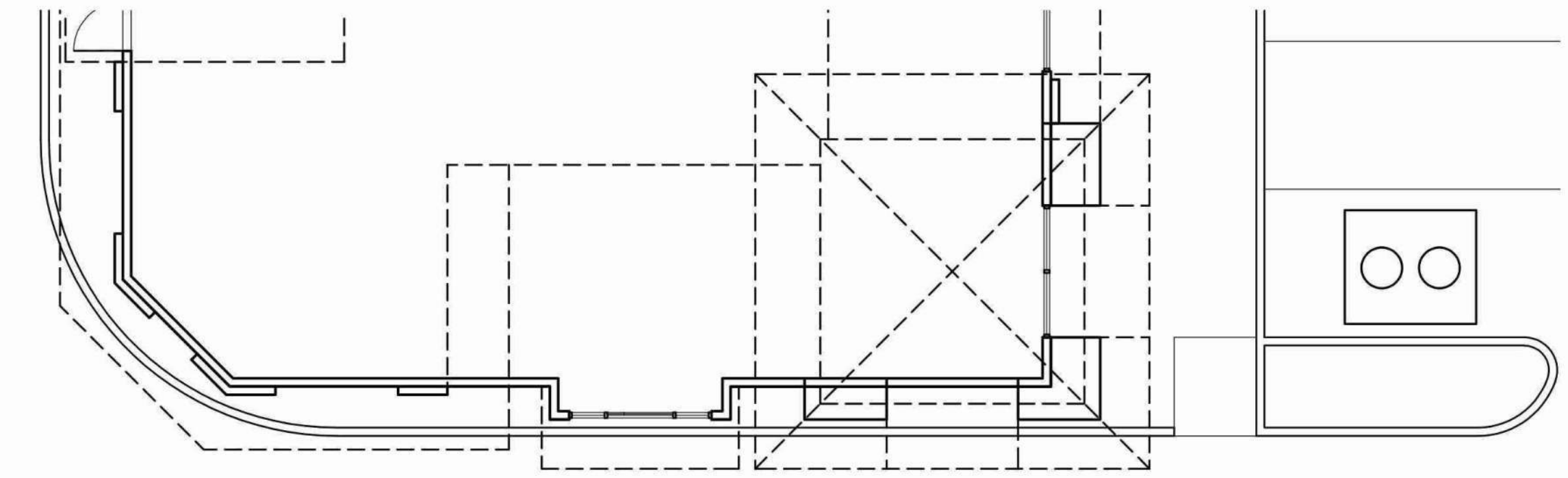
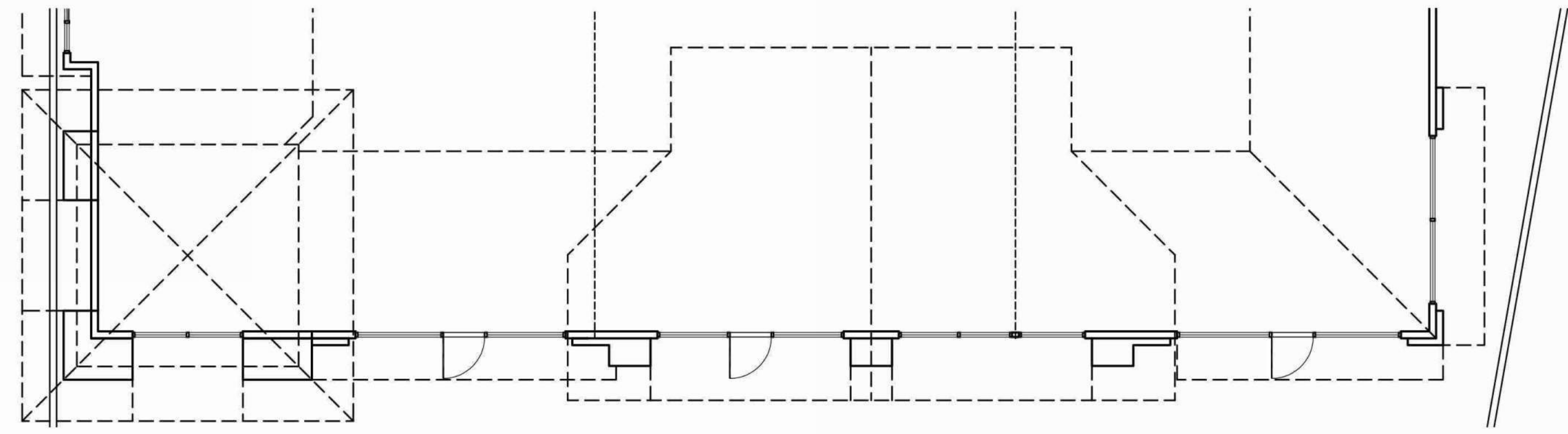
SHEET C2.2B

JOB #: 22002
DATE: 03/15/2022



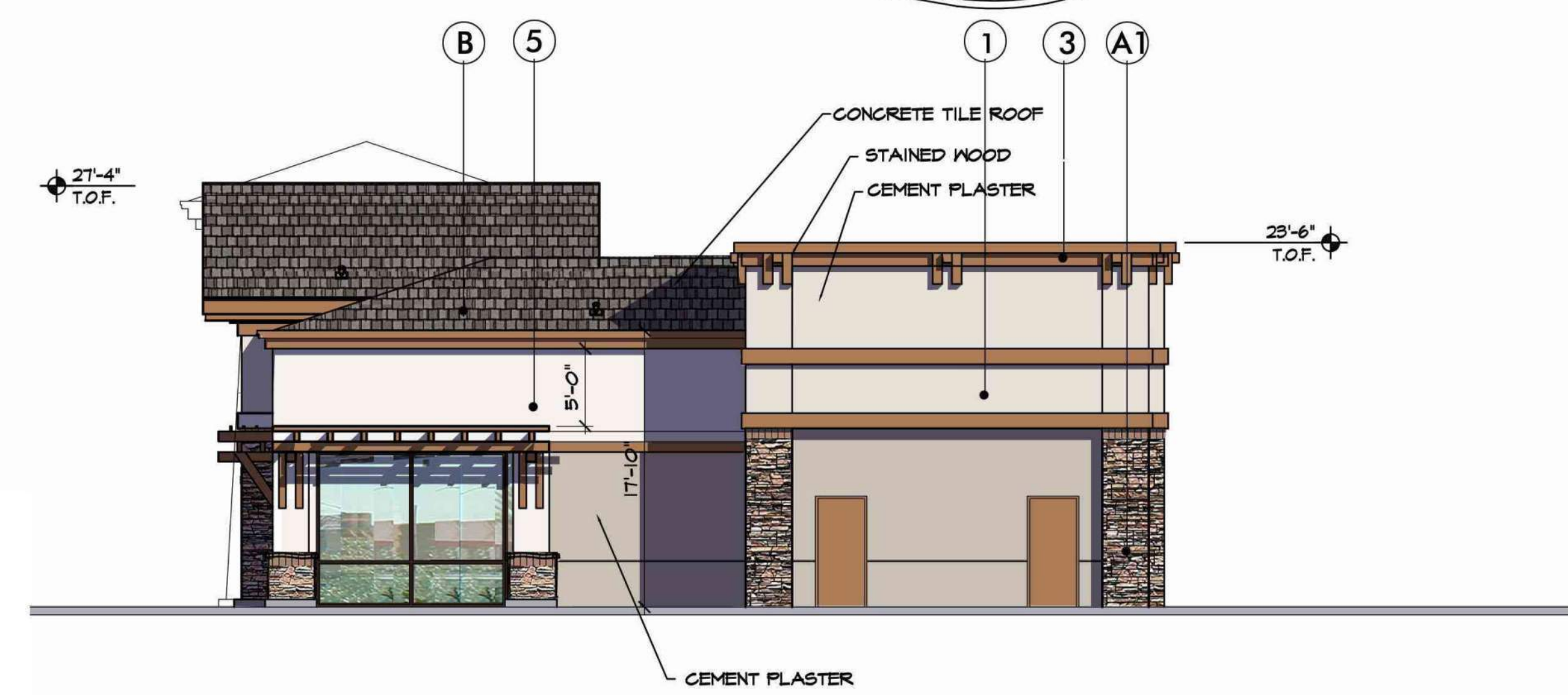
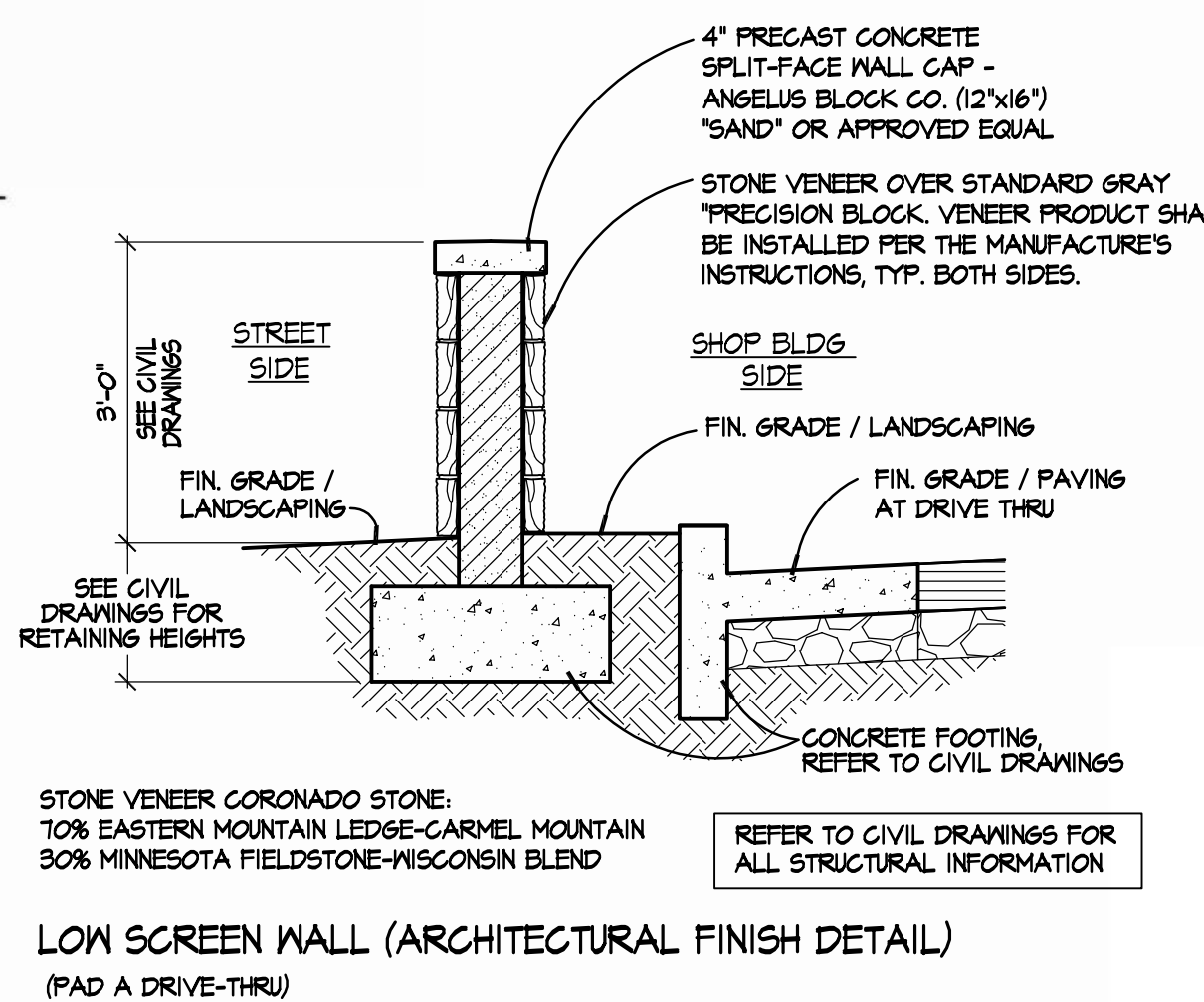
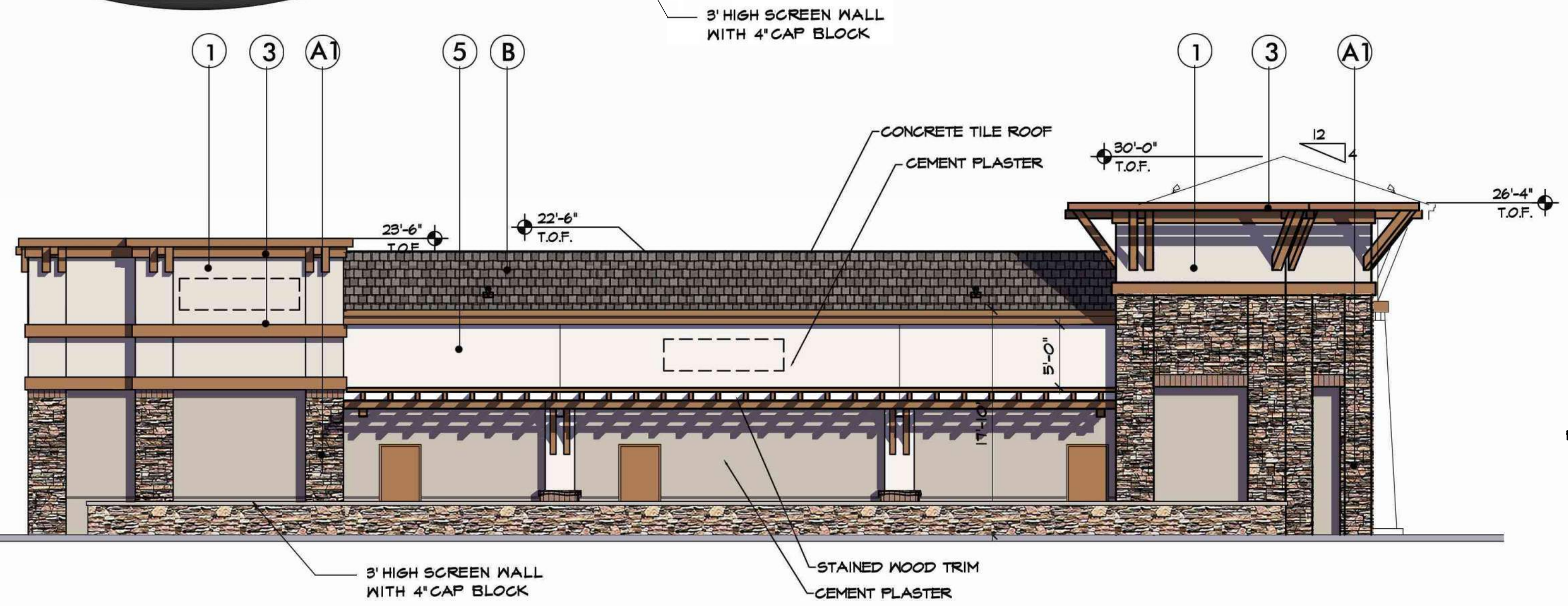
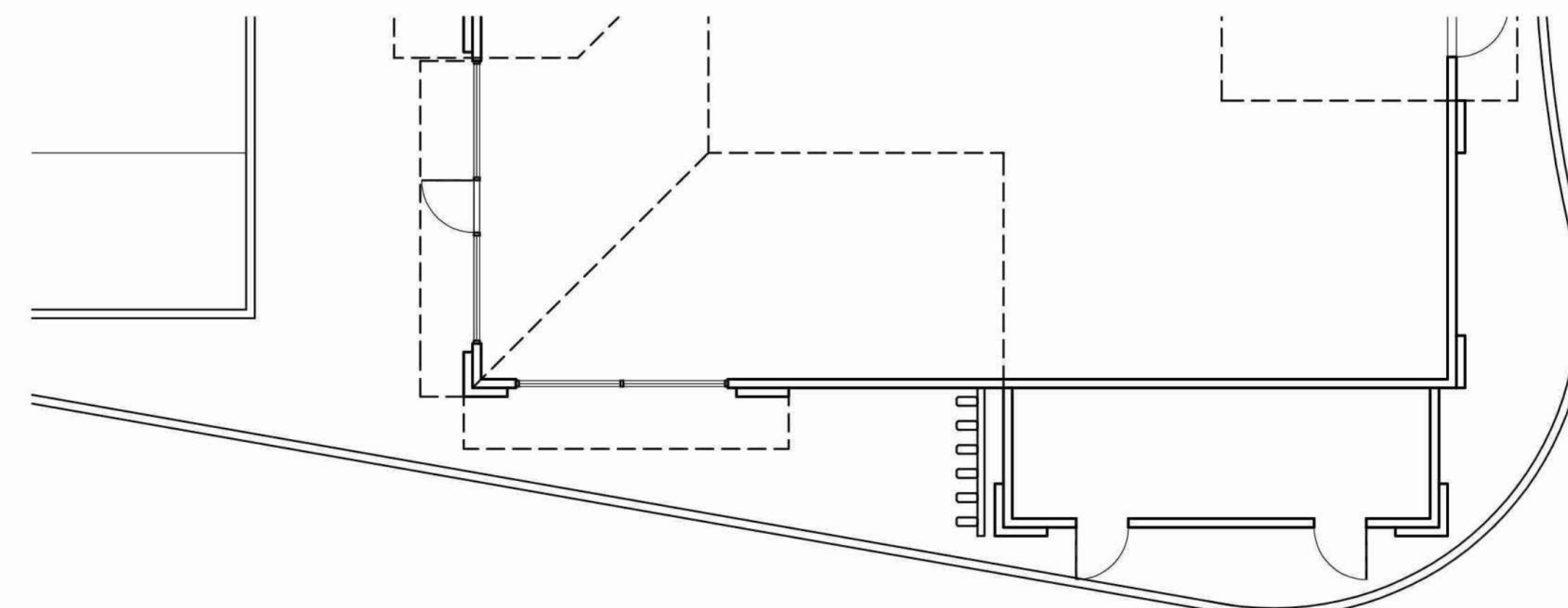
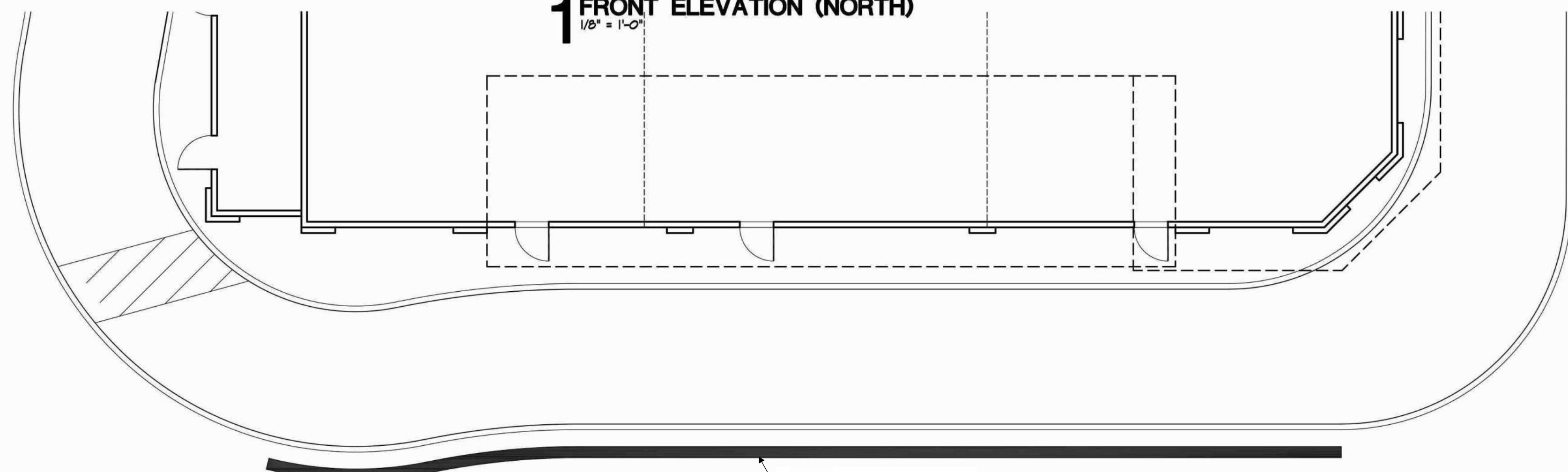
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM





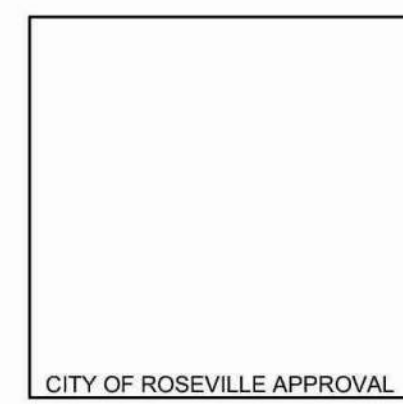
1 FRONT ELEVATION (NORTH)
1/8" = 1'-0"

2 LEFT ELEVATION (EAST)
1/8" = 1'-0"



3 REAR ELEVATION (SOUTH)
1/8" = 1'-0"

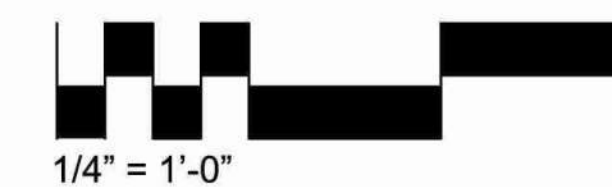
4 RIGHT ELEVATION (WEST)
1/8" = 1'-0"



ELEVATIONS : PAD B
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

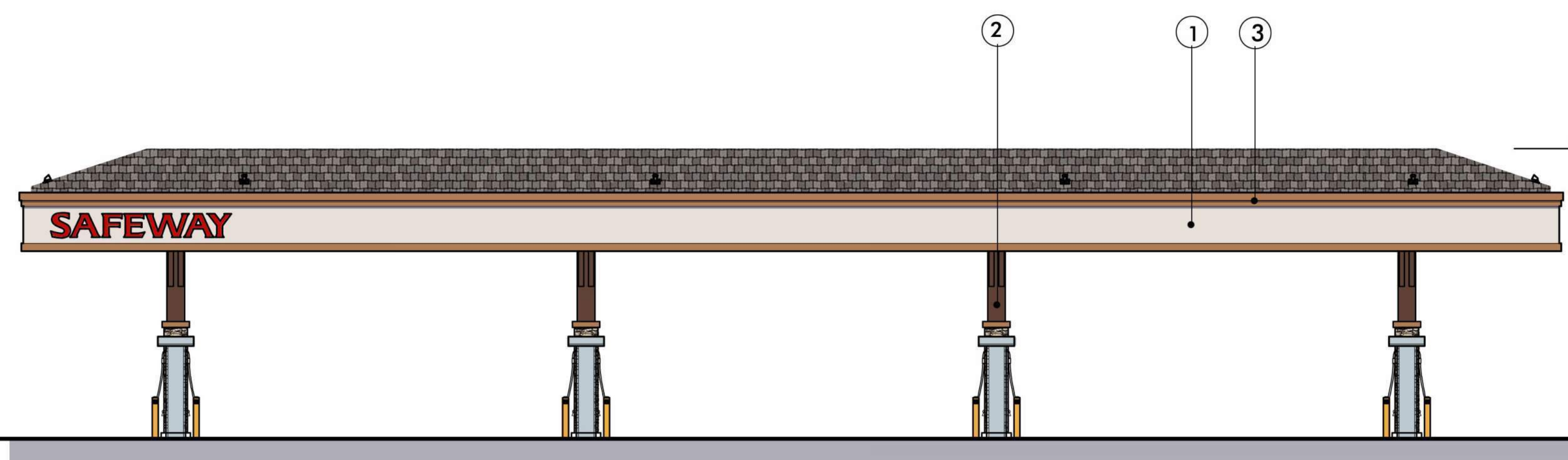
SHEET C2.2C

JOB #: 22002
DATE: 08/11/2022

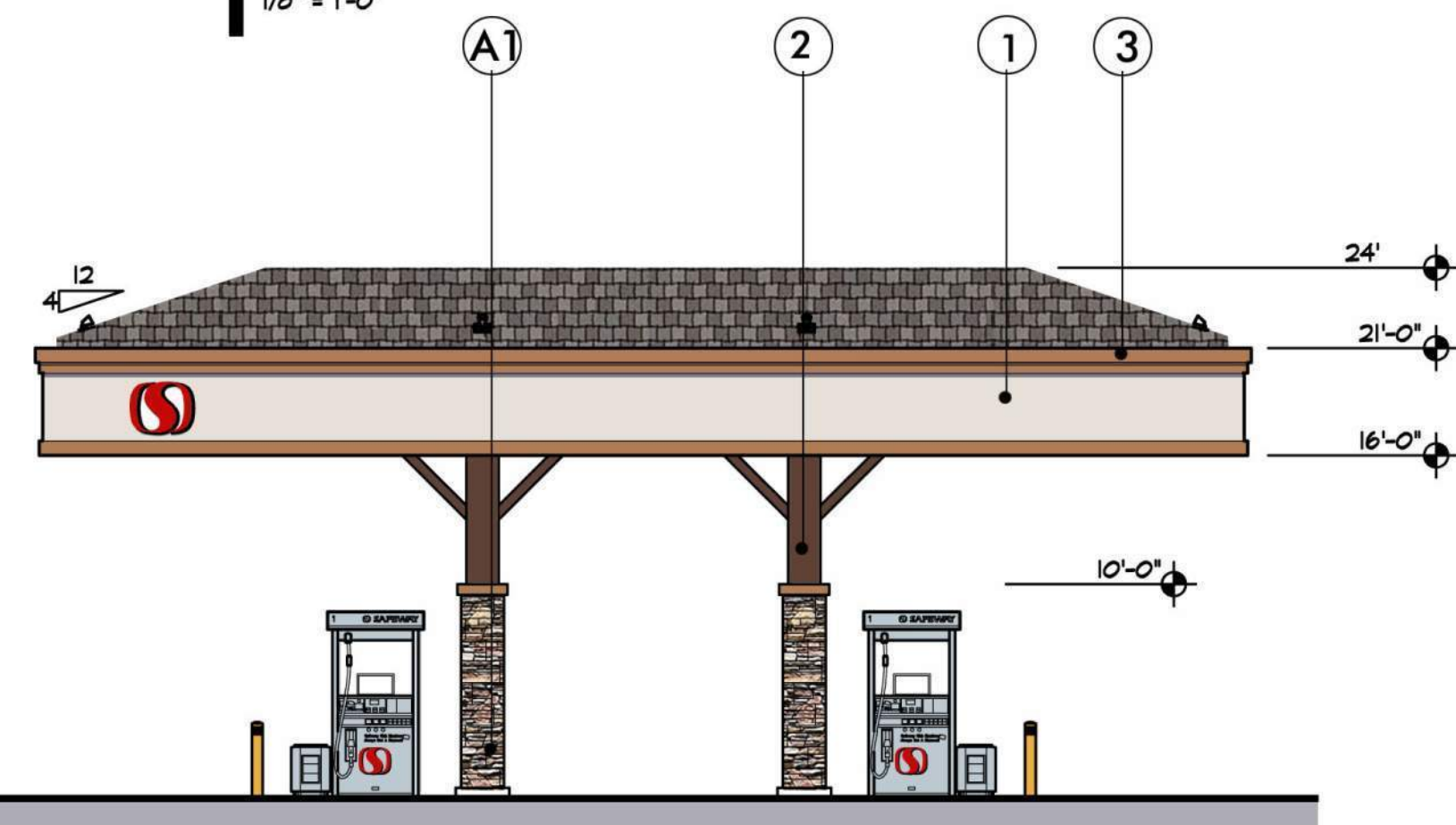


NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

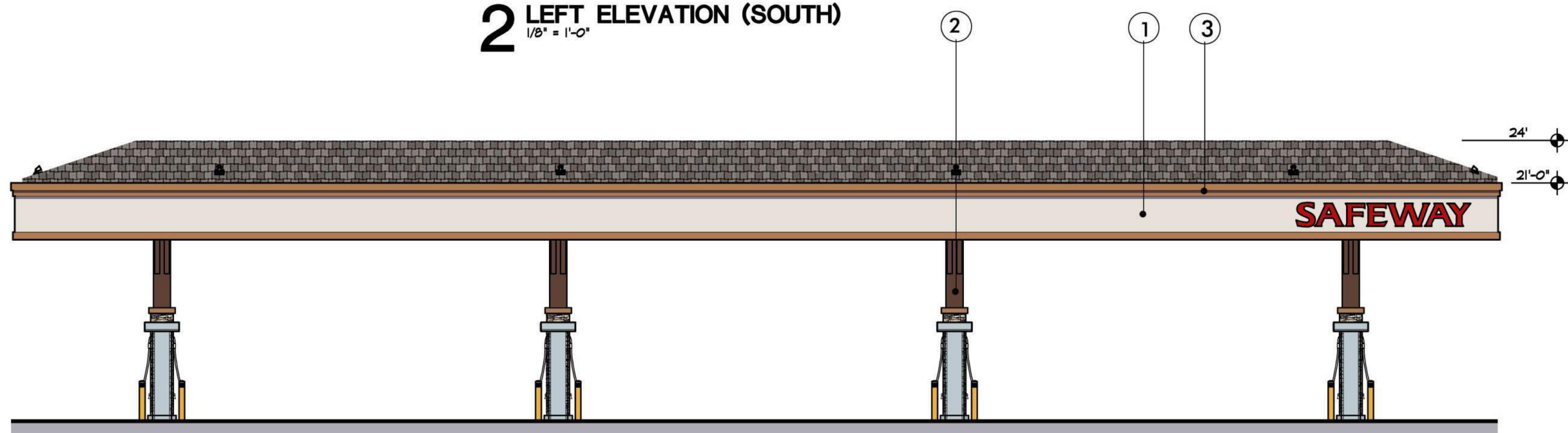




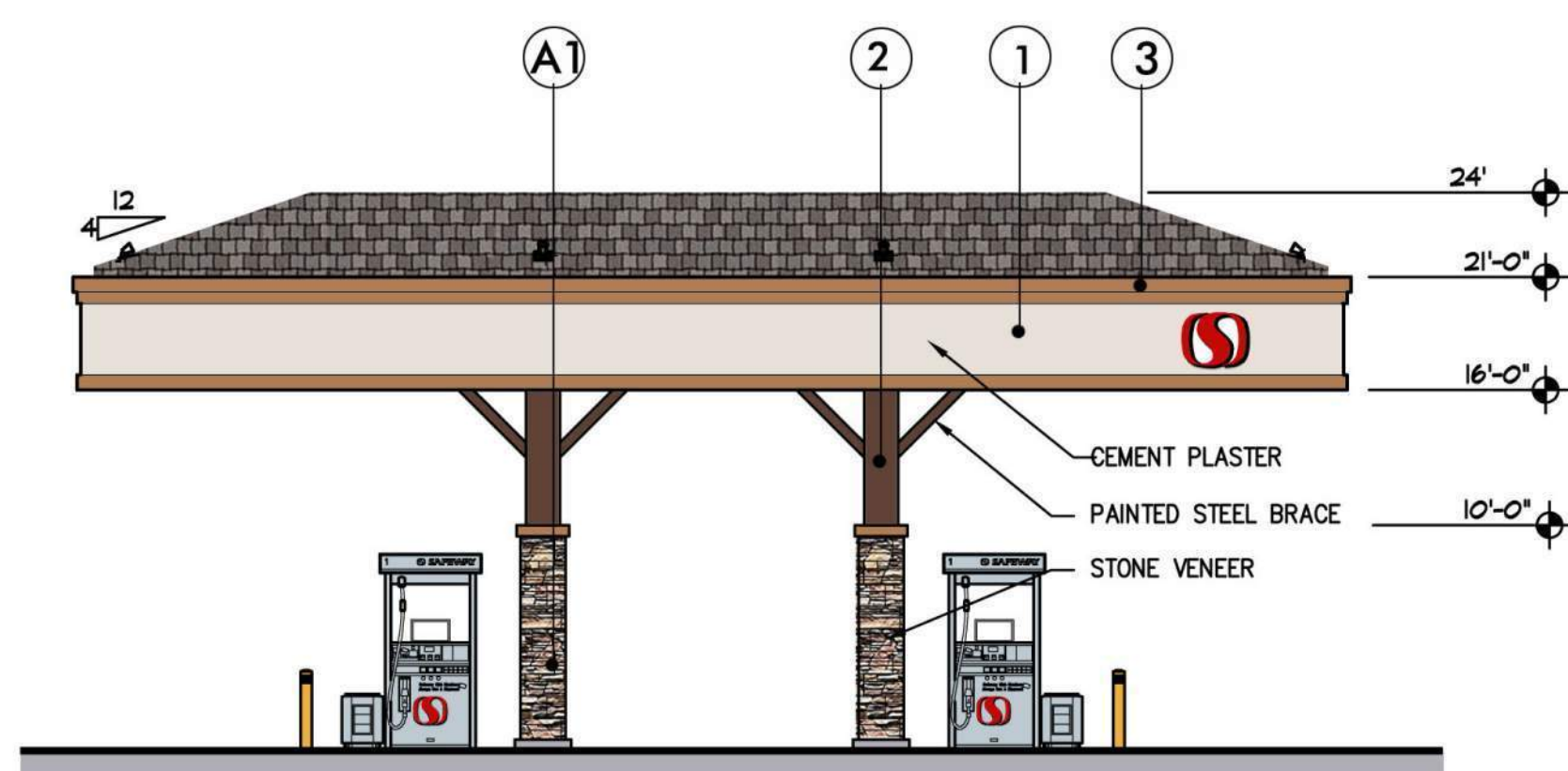
1 FRONT ELEVATION (EAST)
1/8" = 1'-0"



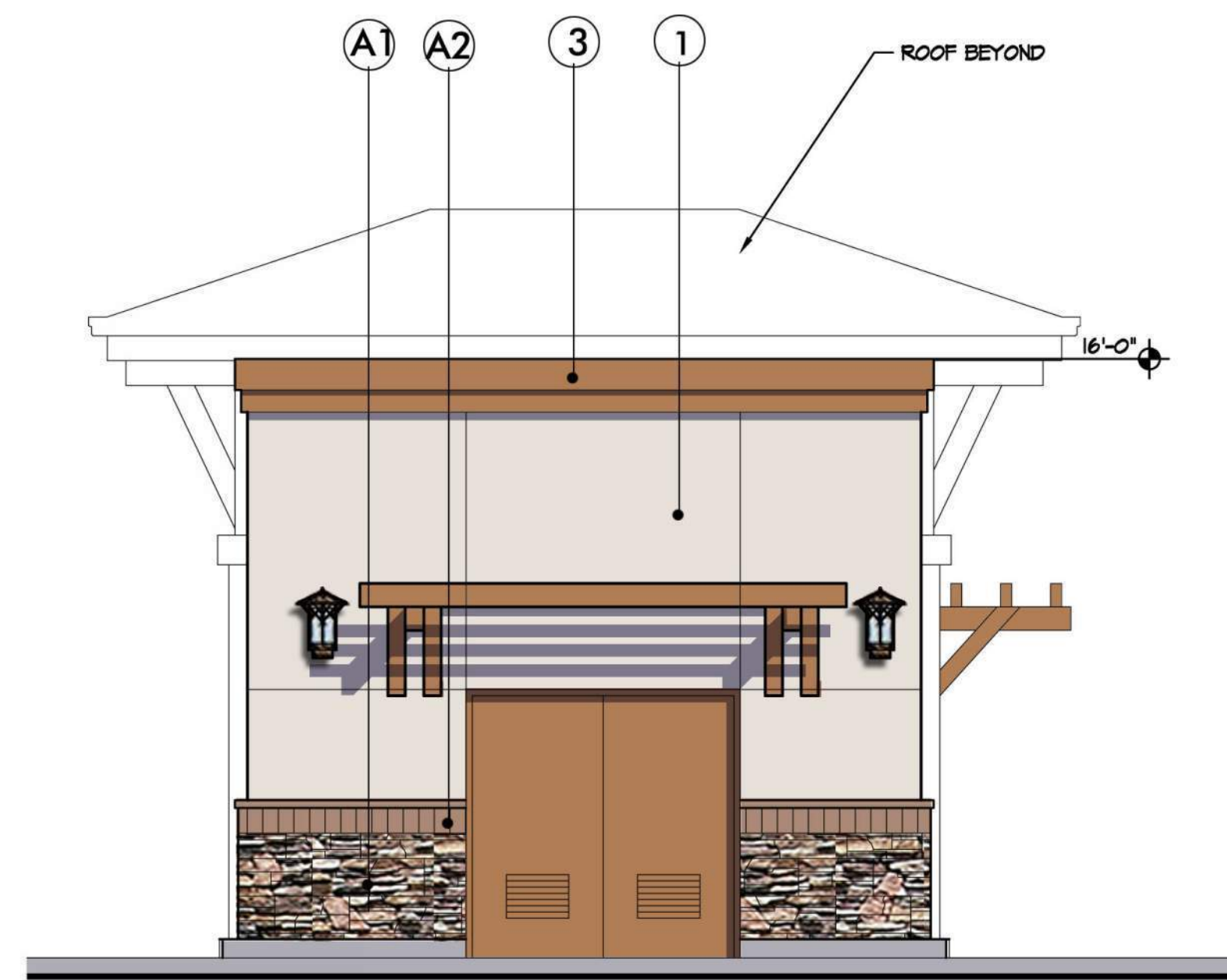
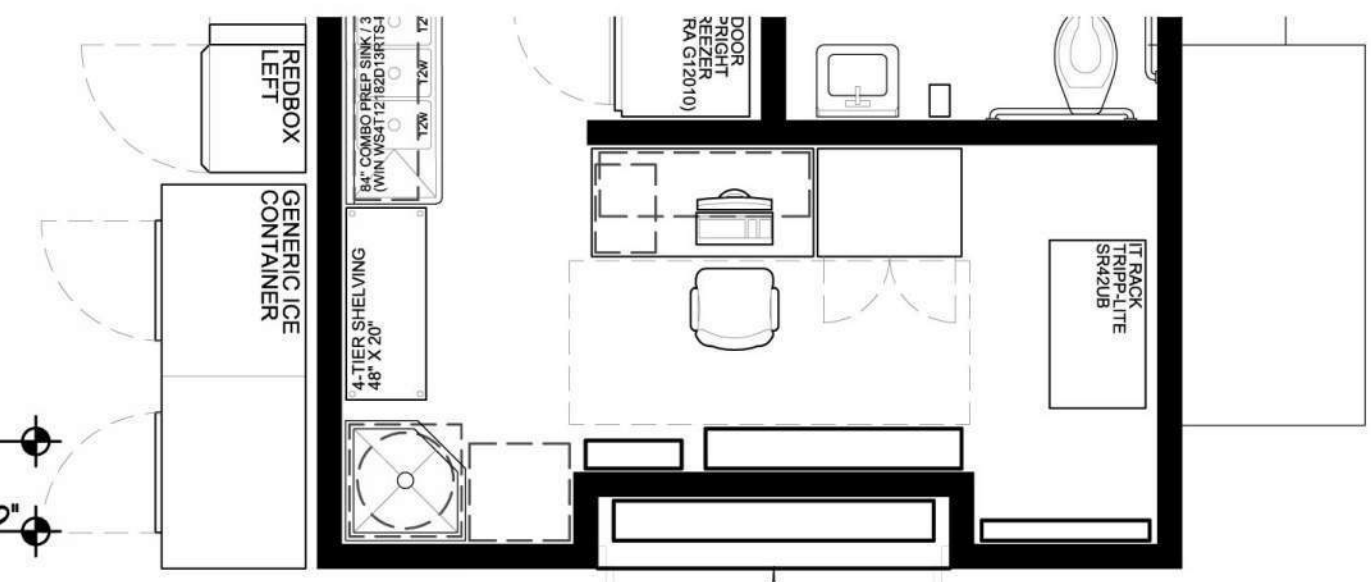
2 LEFT ELEVATION (SOUTH)
1/8" = 1'-0"



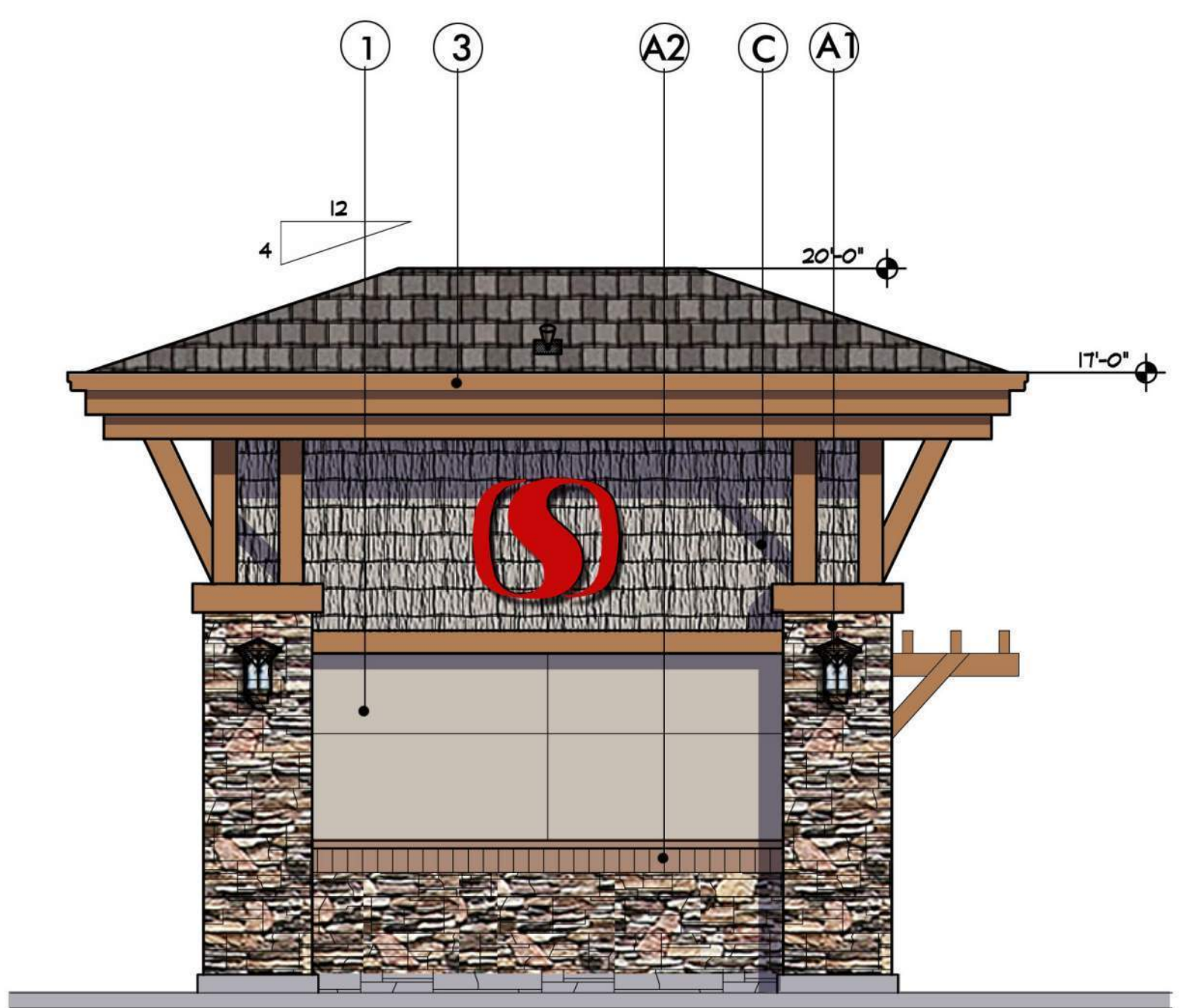
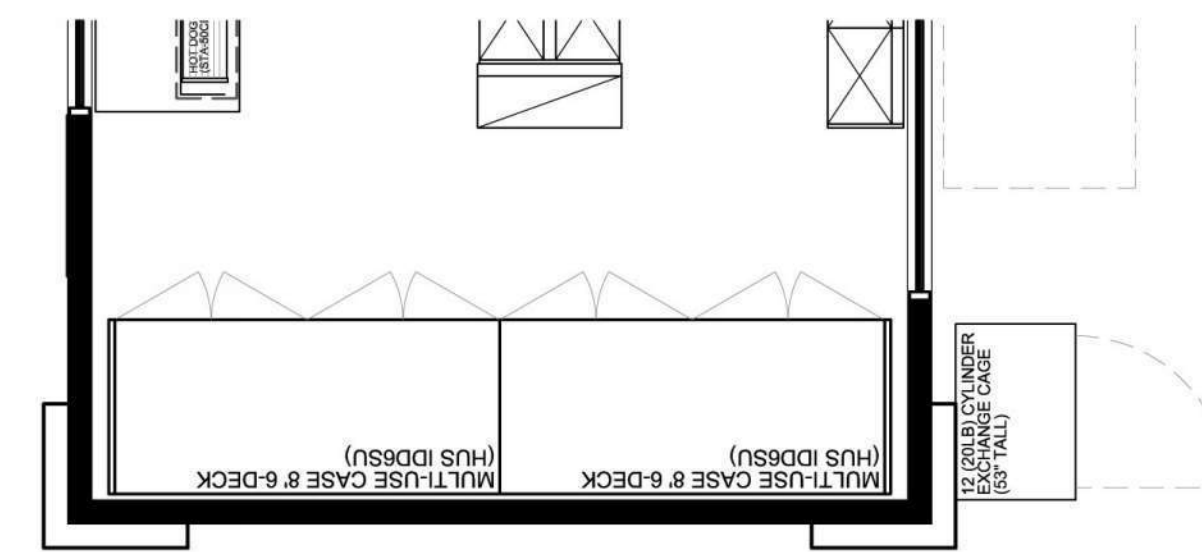
3 REAR ELEVATION (WEST)
1/8" = 1'-0"



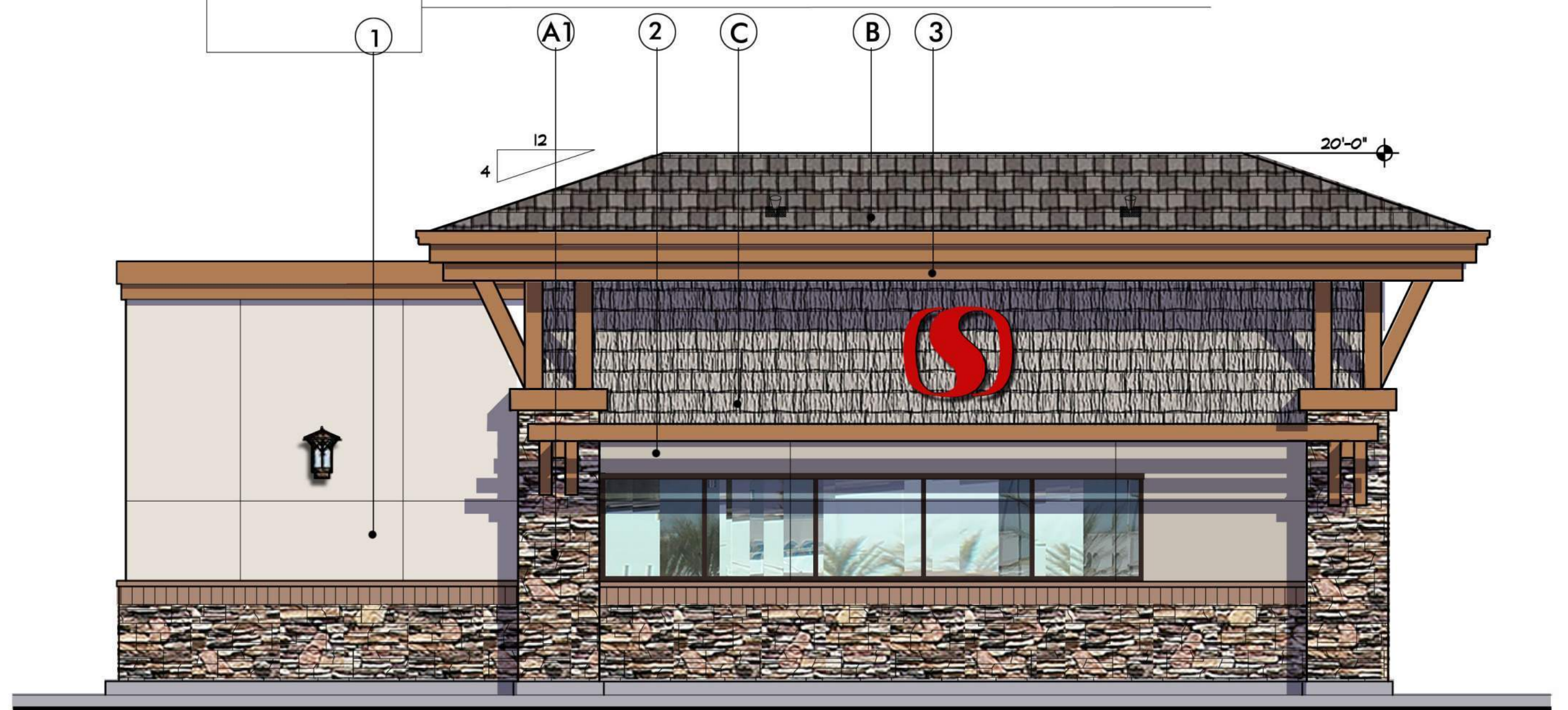
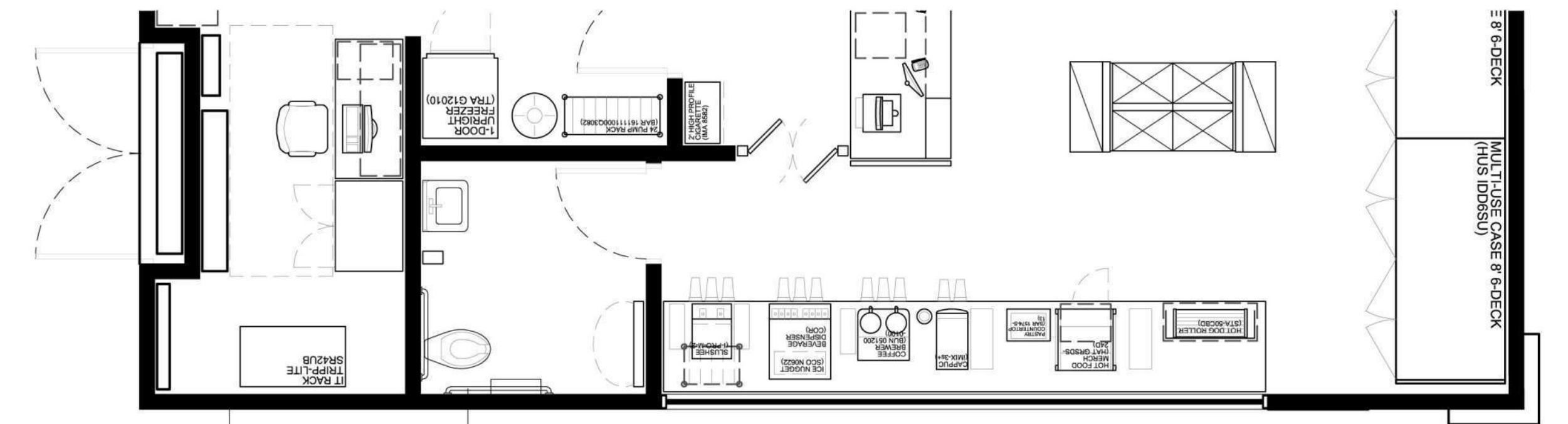
4 RIGHT ELEVATION (NORTH)
1/8" = 1'-0"



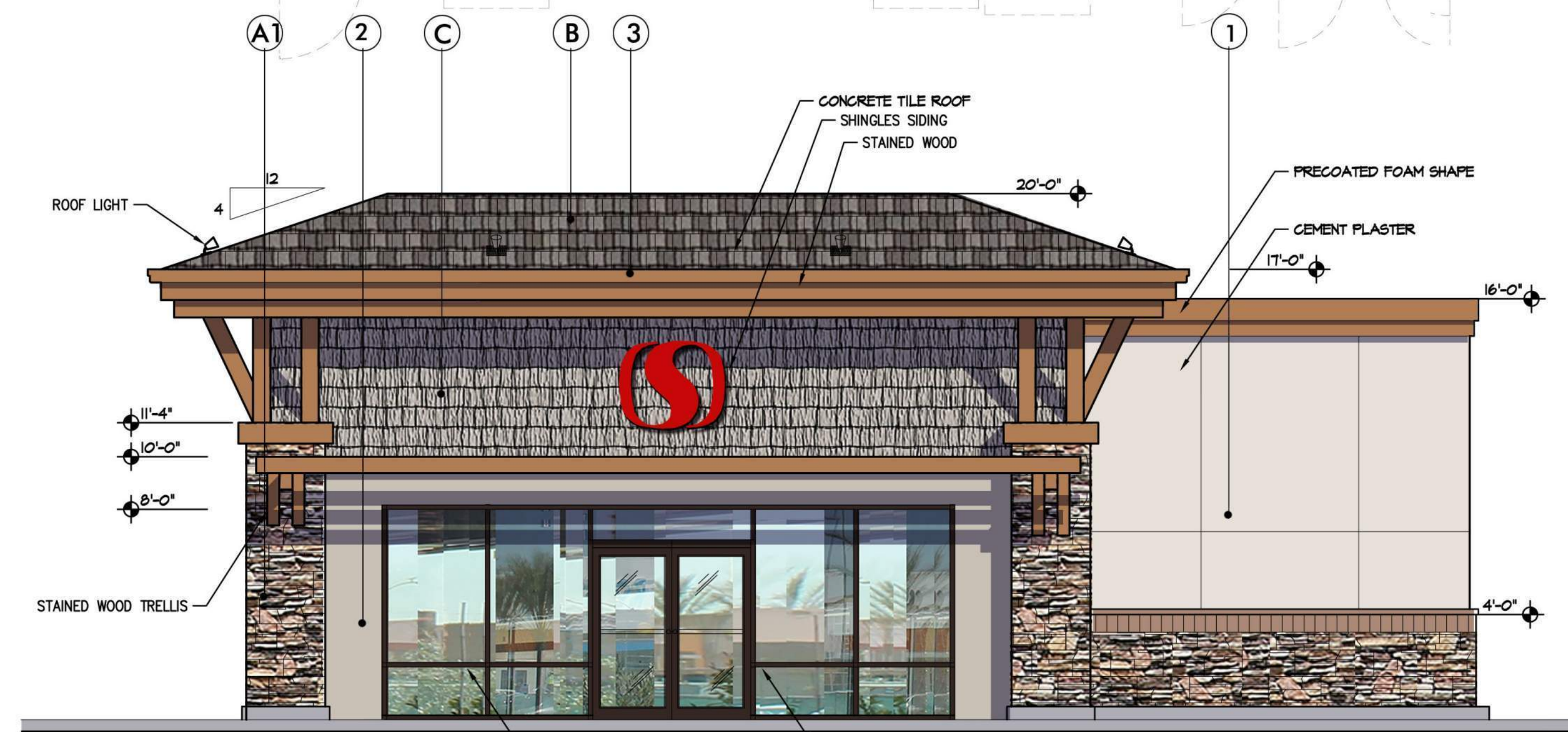
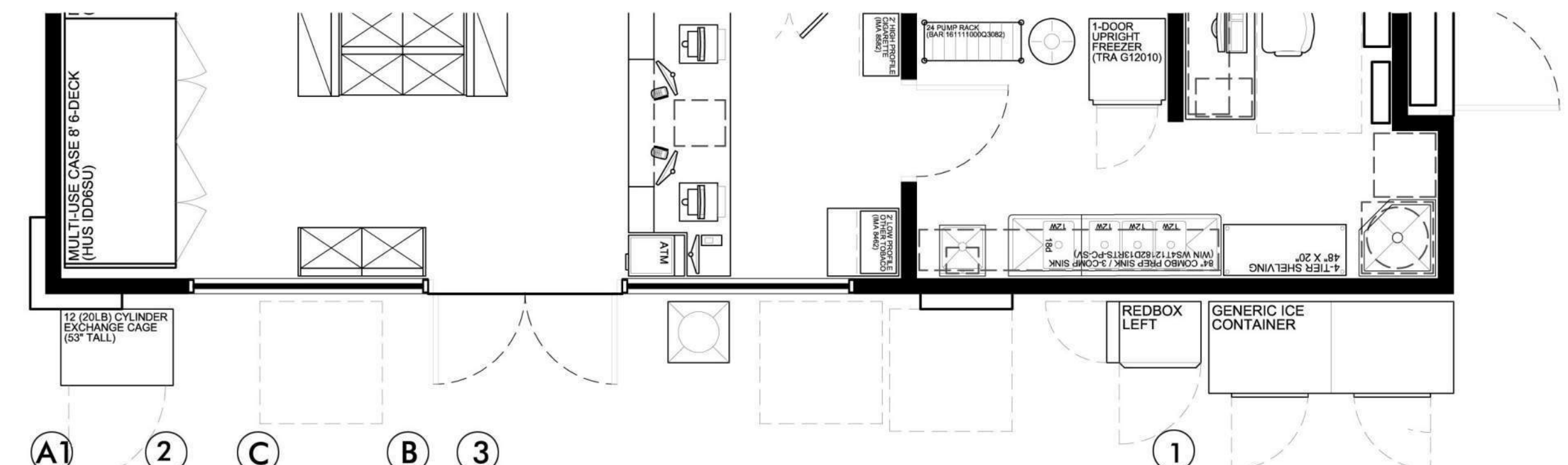
5 RIGHT ELEVATION (NORTH)
1/4" = 1'-0"



7 LEFT ELEVATION (SOUTH)
1/4" = 1'-0"



6 REAR ELEVATION (WEST)
1/4" = 1'-0"



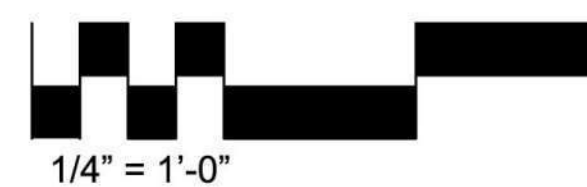
8 FRONT ELEVATION (EAST)
1/4" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ELEVATIONS : FUEL CENTER
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.2D

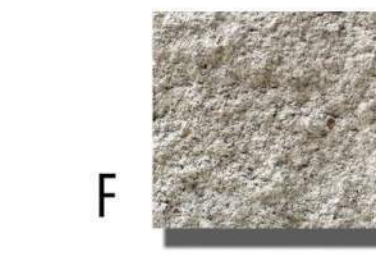
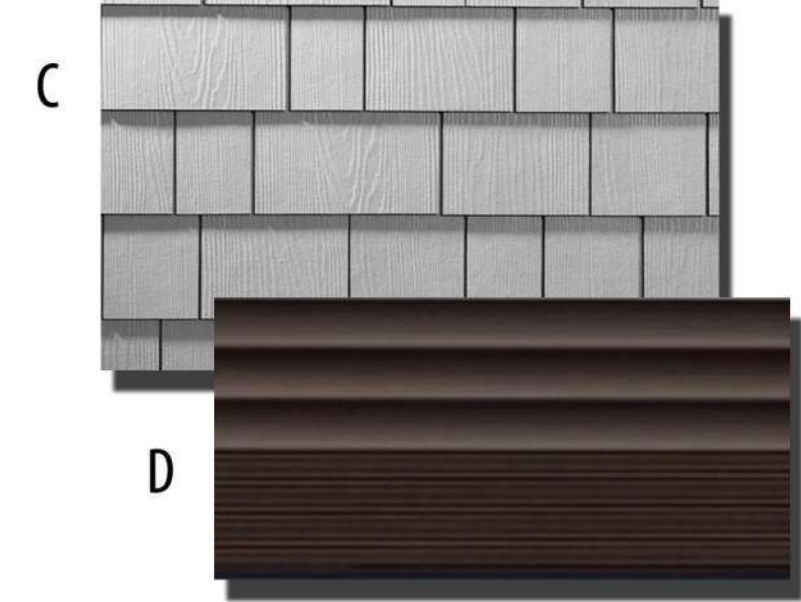
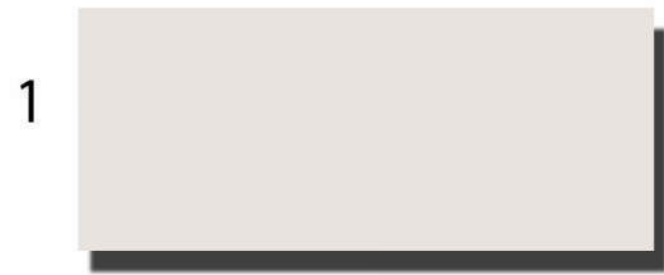
JOB #: 22002
DATE: 03/15/2022



NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

NADEL

COLOR & MATERIALS



PAINT

1. SHERWIN WILLIAMS SW 7022- ALPACA
2. SHERWIN WILLIAMS SW 6073- PERFECT GREIGE
3. SHERWIN WILLIAMS SW 7523- BURNISHED BRANDY
4. SHERWIN WILLIAMS SW 7510- CHATEAU BROWN
5. SHERWIN WILLIAMS SW 7631- CITY LOFT
6. SHERWIN WILLIAMS SW 0077- CLASSIC FRENCH GRAY

A. STONE VENEER

- A1. CORONADO STONE-
70% EASTERN MOUNTAIN LEDGE-CARMEL MOUNTAIN
30% MINNESOTA FIELDSTONE-WISCONSIN BLEND

- A2. CORONADO STONE-
BRICK MOLDING - RUSTIC BLEND

- B. ROOF TILES
NEWPOINT CONCRETE ROOF TILES-
SAXONY 900 SLATE-APPALACHIAN BLEND

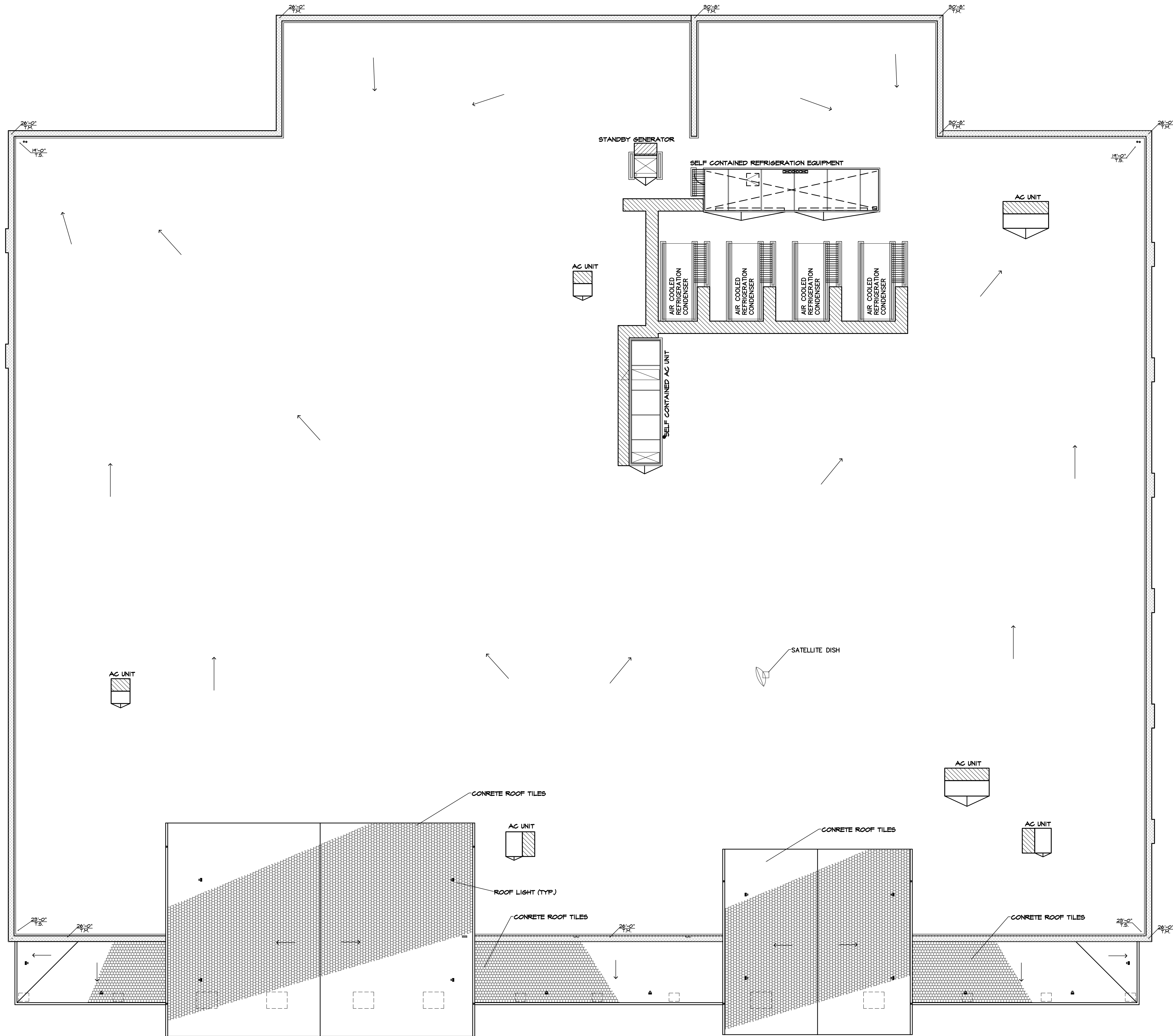
- C. WALL SIDING
JAMES HARDIE - SHINGLE SIDING

- D. STOREFRONT
DARK BRONZE ANODIZED ALUMINUM

- E. LIGHT FIXTURE
STERNBERG LIGHTING- PRAIRIE SERIES

- F. BASALITE CMU BLOCK - 225 PRECISION
WITH PLASTER FINISH, PAINT AS NOTED

- G. BASALITE CMU BLOCK - 128 SPLIT FACE
PAINT AS NOTED



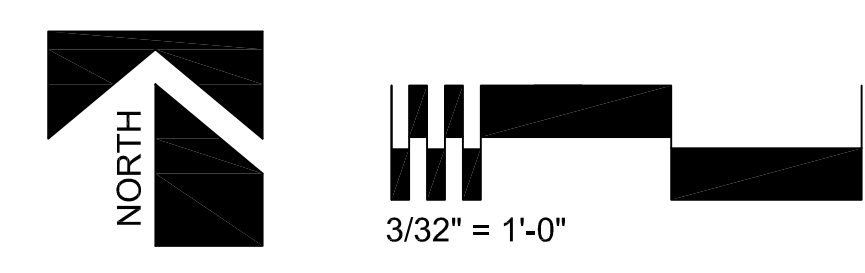
1 ROOF PLAN
3/32" = 1'-0"

CITY OF ROSEVILLE APPROVAL

ROOF PLAN : MAJOR "A"
WEST ROSEVILLE MARKETPLACE
ROSEVILLE, CA

SHEET C2.3 A

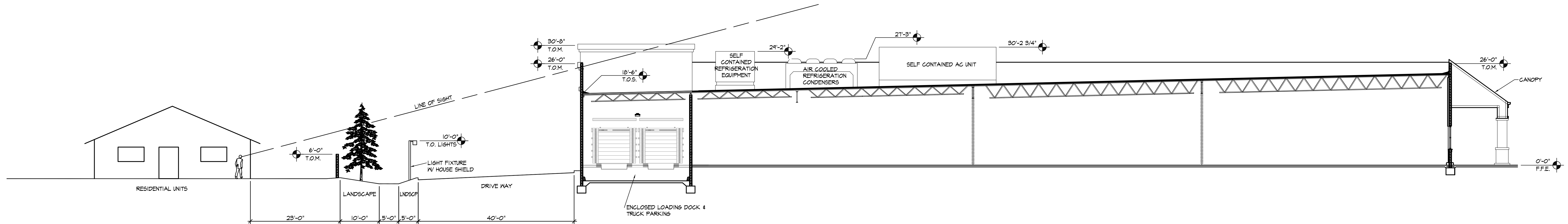
JOB #: 22002
DATE: 03/15/2022



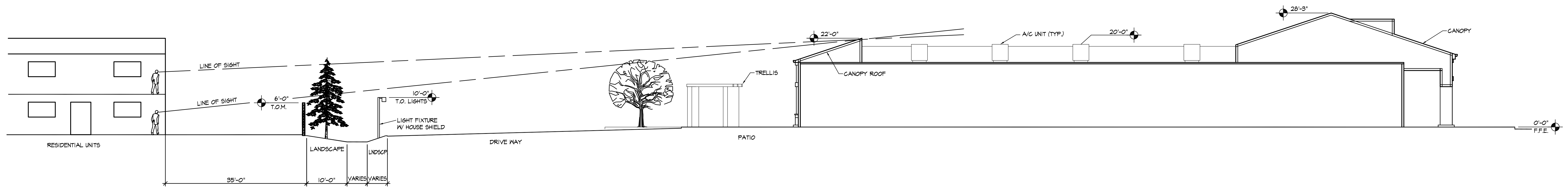
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM



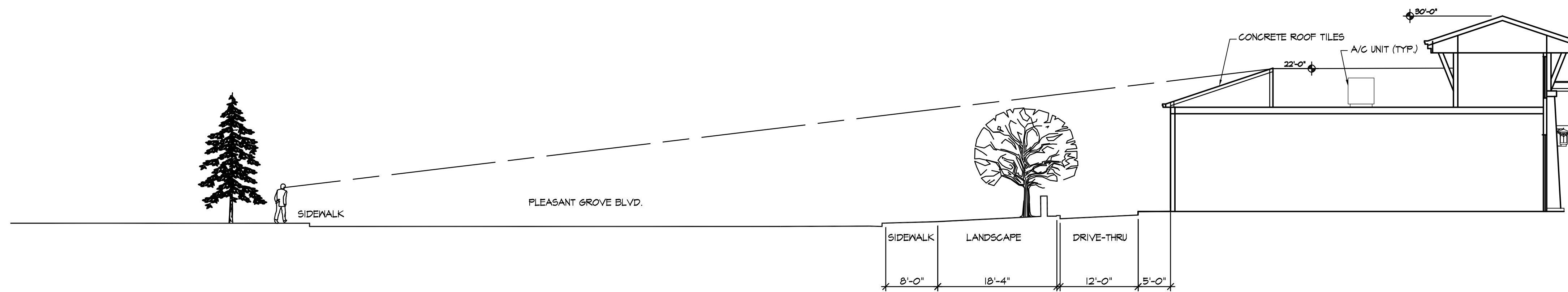
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.



1 SECTION THROUGH MAJOR "A" & RESIDENTIAL
 3/32" = 1'-0"
 REF: C1.1



2 SECTION THROUGH SHOPS "T" & RESIDENTIAL
 3/32" = 1'-0"
 REF: C1.1



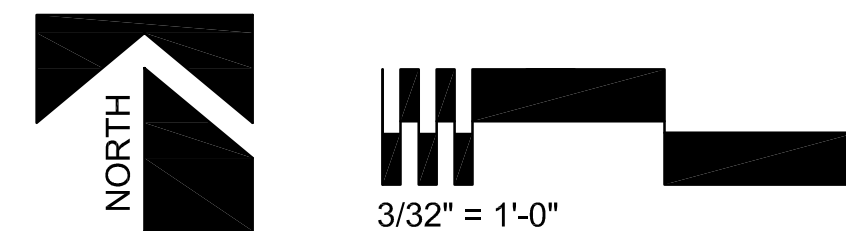
3 SECTION THROUGH PAD "B" & PLEASANT GROVE BLVD
 3/32" = 1'-0"
 REF: C1.1

CITY OF ROSEVILLE APPROVAL

BUILDING SECTIONS : MAJOR A, SHOPS 1, PAD B
WEST ROSEVILLE MARKETPLACE
 ROSEVILLE, CA

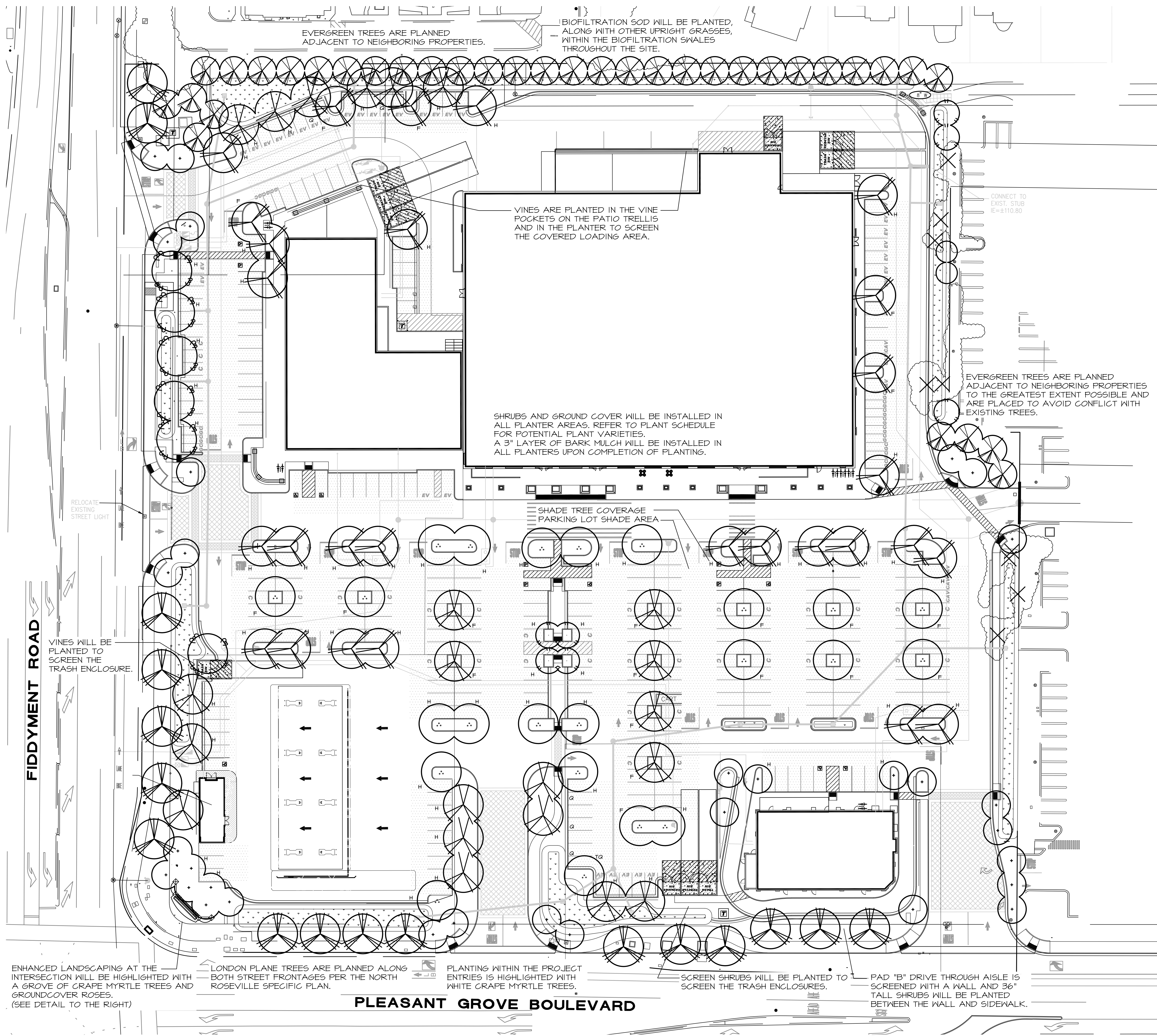
SHEET C2.4

JOB #: 22002
 DATE: 08/16/2022



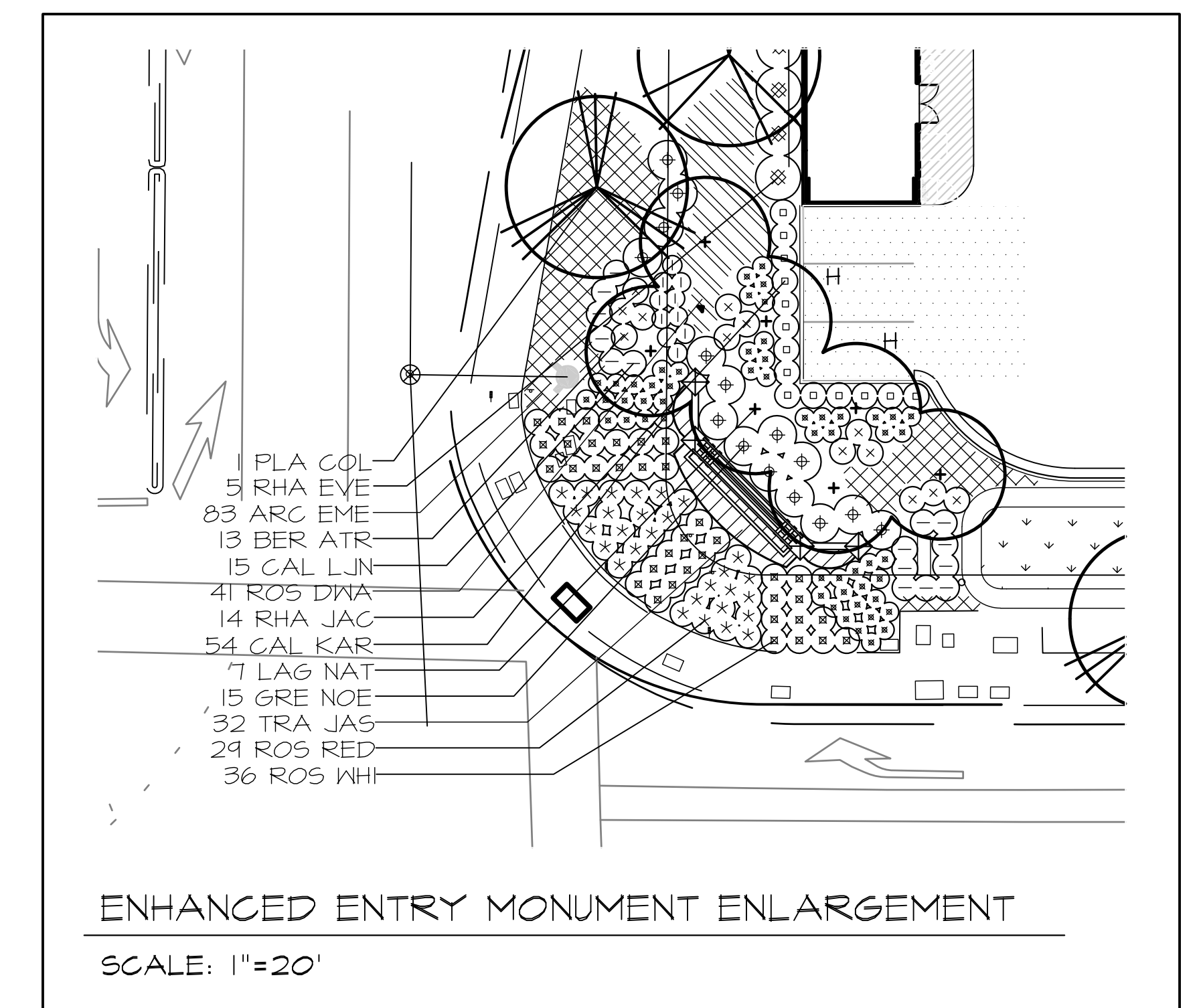
NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM

NADEL



TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QUANTITY
	ACE OGL	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Grape Myrtle	15 gal	
	LAU NOB	Laurus nobilis / Sweet Bay	15 gal	
	PIN ELD	Pinus eldarica / Afghan Pine	15 gal	
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	
	QUE SKY	Quercus robur 'Fastigiata' TM / Skyrocket English Oak	15 gal	
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal	
	ZEL SER	Zelkova serrata / Sawleaf Zelkova	15 gal	

SEE SHEET L1.2 FOR FULL PLANT SCHEDULE



ENHANCED ENTRY MONUMENT ENLARGEMENT
SCALE: 1"=20'

CITY OF ROSEVILLE APPROVAL

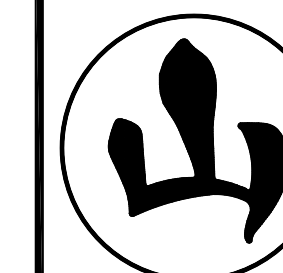
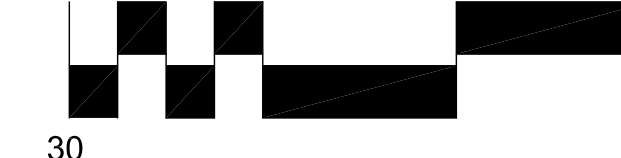
PRELIMINARY LANDSCAPE PLAN
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

SHEET L1.1

JOB #: 22002
DATE: 7/11/22



30



YAMASAKI
LANDSCAPE ARCHITECTURE
1223 HIGH STREET, AUBURN, CA 95603
(530) 885-0040
FAX: (530) 885-0042

NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

NADEL

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	INCOLS	
	ACE OGL	Acer rubrum 'October Glory' / October Glory Red Maple	15 gal	L	
	LAG NAT	Lagerstroemia indica x fauriei 'Natchez' / Natchez Grape Myrtle	15 gal	L	
	LAU NOB	Laurus nobilis / Sweet Bay	15 gal	L	
	PIN ELD	Pinus eldarica / Afghan Pine	15 gal	L	
	PIS KEI	Pistacia chinensis 'Keith Davey' / Keith Davey Chinese Pistache	24" box	L	
	PLA COL	Platanus x acerifolia 'Columbia' / Columbia London Plane Tree	15 gal	M	
	QUE SKY	Quercus robur 'Fastigiata' TM / Skyrocket English Oak	15 gal	L	
	ULM DRA	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	15 gal	L	
	ZEL SER	Zelkova serrata / Sawleaf Zelkova	15 gal	L	
POTENTIAL SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	INCOLS	
	BER ATR	Berberis thunbergii 'Atropurpurea' / Red Leaf Japanese Barberry	5 gal	L	
	CAL LJN	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal	L	
	CIS HMI	Cistus x hybridus 'Mickle' / Mickle Rockrose	5 gal	L	
	GRE NOE	Grevillea x 'Noellii' / Noel Grevillea	5 gal	L	
	MAH SOF	Mahonia evjibracteata 'Soft Caress' / Mahonia Soft Caress	5 gal	L	
	NAN COM	Nandina domestica 'Compacta' / Dwarf Heavenly Bamboo	5 gal	L	
	NAN HAR	Nandina domestica 'Harbour Dwarf' / Harbour Dwarf Heavenly Bamboo	5 gal	L	
	NAN LEM	Nandina domestica 'Lemon Lime' / Lemon Lime Nandina	5 gal	L	
	PIT VAR	Pittosporum tobira 'Variegata' / Variegated Japanese Pittosporum	5 gal	L	
	PRU BRI	Prunus caroliniana 'Monus' TM / Bright 'N Tight Carolina Laurel Cherry	5 gal	L	
	RHA EVE	Rhamnus californica 'Eve Case' / California Coffeeberry	5 gal	L	
	RHA JAC	Rhaphiolepis indica 'Jack Evans' / Indian Hawthorn	5 gal	M	
	ROS RED	Rosa x 'Noare' TM / Flower Carpet Red Groundcover Rose	2 gal	INCOLS	
	ROS WHI	Rosa x 'Noaschnee' TM / Flower Carpet White Groundcover Rose	2 gal	L	
POTENTIAL GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	INCOLS	
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	L	
	LOM LON	Lomandra longifolia 'Platinum Beauty' / Mat Rush	1 gal	L	
	MUH REG	Muhlenbergia capillaris 'Regal Mist' / Regal Mist Pink Muhly Grass	1 gal	INCOLS	
	MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal	L	
POTENTIAL VINES	CODE	BOTANICAL / COMMON NAME	SIZE	INCOLS	
	FIC PUM	Ficus pumila / Creeping Fig	5 gal	L	
POTENTIAL GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	INCOLS
	ARC EME	Arctostaphylos uva-ursi 'Emerald Carpet' / Kinnikinnick	1 gal	36" o.c.	L
	ROS DWA	Rosmarinus officinalis 'Prostratus' / Dwarf Rosemary	1 gal	36" o.c.	M
	TRA JAS	Trachelospermum jasminoides / Chinese Star Jasmine	1 gal	24" o.c.	
POTENTIAL SEED/SOD	CODE	BOTANICAL / COMMON NAME	SIZE	SPACING	
	TUR BIO	Turf Sod Biofiltration Sod / Drought Tolerant Grass Blend	sod		

PLANTING STATEMENT

The proposed landscape plant palette consists of low water use shrubs, groundcover, trees, and ornamental grasses that are considered low maintenance and hardy. Choice of plants is guided by considerations of solar exposure and climate conditions of the site. Plant selection aims for longevity by selecting plants that are long lived varieties of trees, shrubs, groundcover, and grasses.

Street trees planned for Fiddlyment Road and Pleasant Grove Boulevard are London Plane Tree as specified in the North Roseville Specific Plan. Secondary trees and accent trees are chosen from the evergreen and deciduous tree list found in the specific plan.

Shrubs and groundcover container size is no less than 1-gallon size. Trees are no less than 15-gallon size. Plant materials will be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without required pruning.

IRRIGATION STATEMENT

The irrigation system will be serviced by a new point of connection. The irrigation design will consist of low volume drip irrigation. Proposed trees shall utilize bubbler irrigation to encourage deep root watering. The overall irrigation system will be designed with a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. To also be consistent with the planting design, the irrigation design will create separate irrigation stations by hydrozone, locating plants of different water and solar needs into groups.

GENERAL NOTES

Trees and landscape planting shall be placed and pruned as to not interfere at maturity with 13'-6" emergency vehicle access clearance.

Plant material has been selected to not interfere with building numbers and addresses at mature height.

Plant material shall be installed around the backflow preventer providing a four foot clear zone. Plant material shall only be installed on three sides and should not have any thorns.

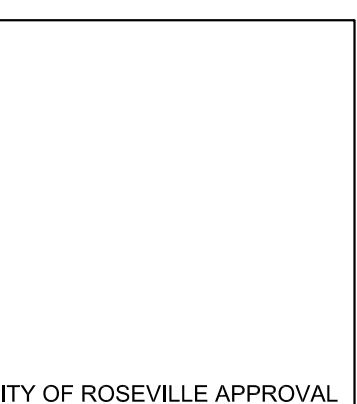
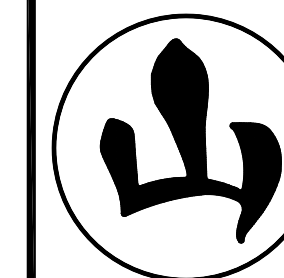
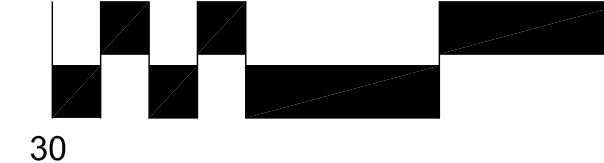
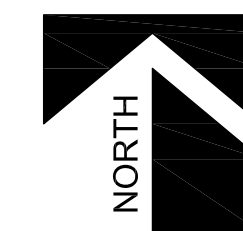
Provide min. clearance around all electrical equipment per Roseville electric landscape requirements as outlined in specifications for commercial construction.

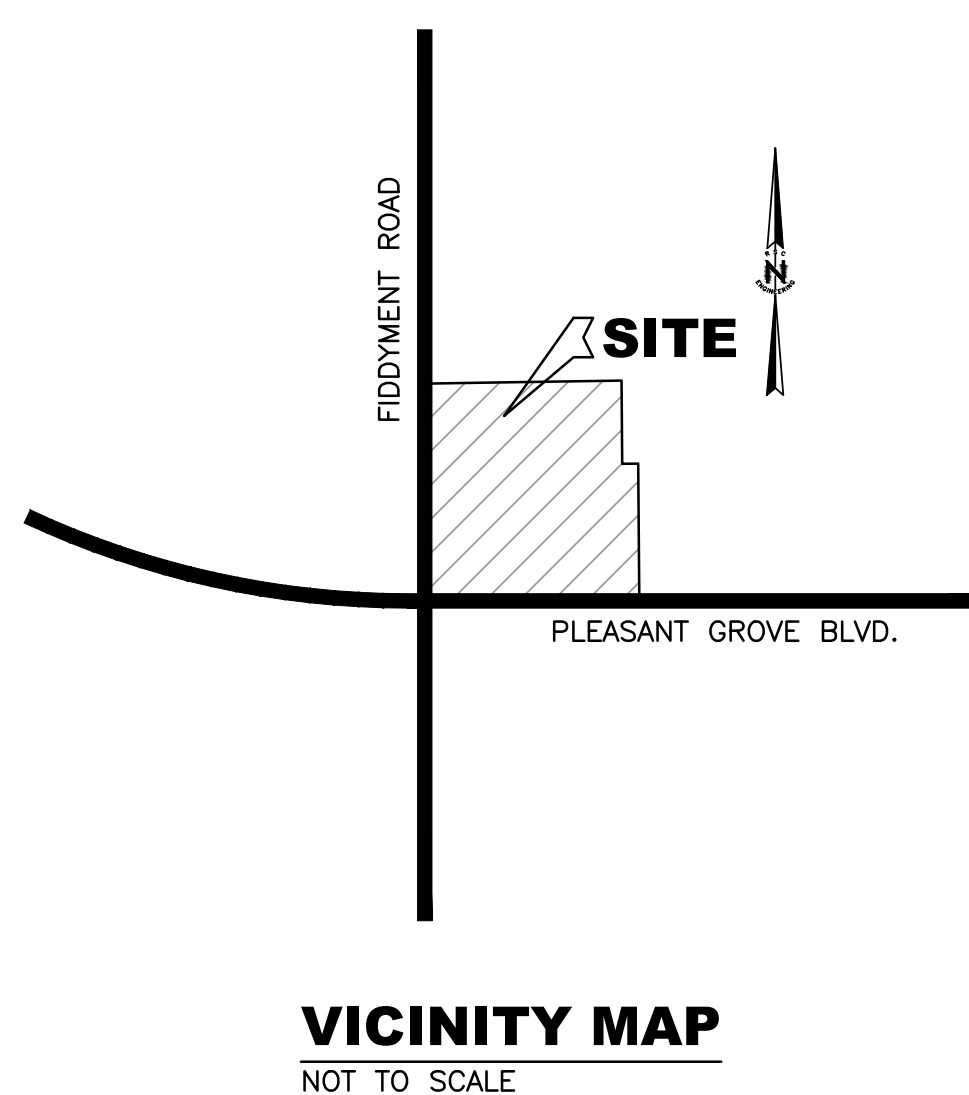
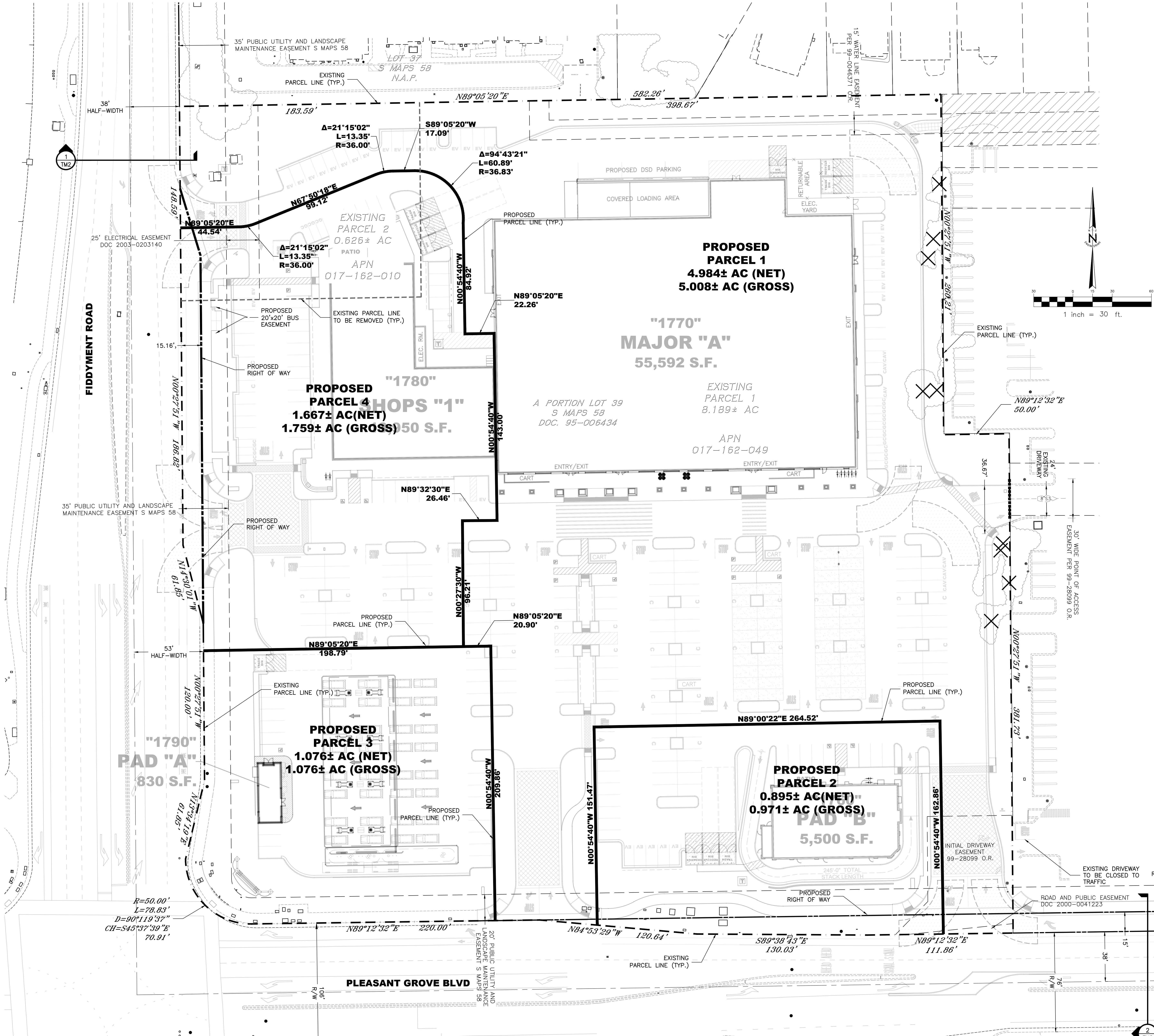
Provide minimum three feet clearance around three sides of transformers and eight feet clearance in front. Install a 3" layer of bark in the clear area.

Provide a minimum three foot clearance around all fire protection equipment.

PARKING LOT SHADE CALCULATIONS

TREE SYMBOL	100%	75%	50%	25%
ACE. OGL.			5 (481) = 2,405	
LAG. NAT.			2 (157) = 314	
LAU. NOB.			4 (157) = 628	
PIS. KEI.	6 (462) = 2,772		11 (481) = 5,291	5 (240) = 1,200
ULM. DRA.	5 (462) = 2,310		23 (481) = 11,063	
ZEL. SER.	9 (462) = 4,158	1 (722) = 722	13 (481) = 6,253	
PARKING LOT AREA	92,530 s.f.			
SHADE REQUIRED (50%)	46,265 s.f.			
TOTAL SHADE	46,635 s.f.			
PERCENT SHADE	51%			





OWNER :

SAFEWAY, INC.
5918 STONERIDGE MALL ROAD
PLEASANTON, CA 94588
ATTN: TODD PARADIS

DEVELOPER :

WEST ROSEVILLE ASSOCIATES, LLC
1420 ROCKY RIDGE DRIVE, SUITE 170
NEWPORT BEACH, CA 92660
ATTN: JEFF WOOD

APPLICANT :

RSC ENGINEERING, INC.
1420 ROCKY RIDGE DR., SUITE 150
ROSEVILLE, CA 95661
ATTN: TIFFANY WILSON
(916) 788-2884

APN

017-162-010
017-162-049

GENERAL PLAN DESIGNATION

CC (COMMUNITY COMMERCIAL)

ZONING

CC/SA
(COMMUNITY COMMERCIAL/SPECIAL AREA)

EXISTING ACREAGE

PARCEL 1: 8.188± AC
PARCEL 2: 0.626± AC
TOTAL: 8.815± AC

PROPOSED ACREAGE (NET)

PARCEL 1: 4.984± AC
PARCEL 2: 0.895± AC
PARCEL 3: 1.076± AC
PARCEL 4: 1.667± AC
TOTAL: 8.622± AC

PROPOSED ACREAGE (GROSS)

PARCEL 1: 5.008± AC
PARCEL 2: 0.971± AC
PARCEL 3: 1.076± AC
PARCEL 4: 1.759± AC
TOTAL: 8.815± AC

UTILITY PROVIDERS:

WATER: ROSEVILLE ENVIRONMENTAL UTILITIES
SEWER: ROSEVILLE ENVIRONMENTAL UTILITIES
DRAINAGE: ROSEVILLE ENVIRONMENTAL UTILITIES
FIRE: ROSEVILLE FIRE DEPARTMENT
ELECTRIC: ROSEVILLE ELECTRIC
GAS: PG&E

LEGEND

- EXISTING BOUNDARY LINE
- - - EXISTING PARCEL LINE TO BE REMOVED
- PROPOSED PARCEL LINE
- - - PROPOSED RIGHT OF WAY
- - - EXISTING EASEMENTS
- ✕ EXISTING TREES TO BE REMOVED (9 TOTAL)

NOTES

1. A RECIPROCAL ACCESS AND UTILITY EASEMENT FOR ALL PARCELS WILL BE RECORDED CONCURRENT WITH THE MAP.

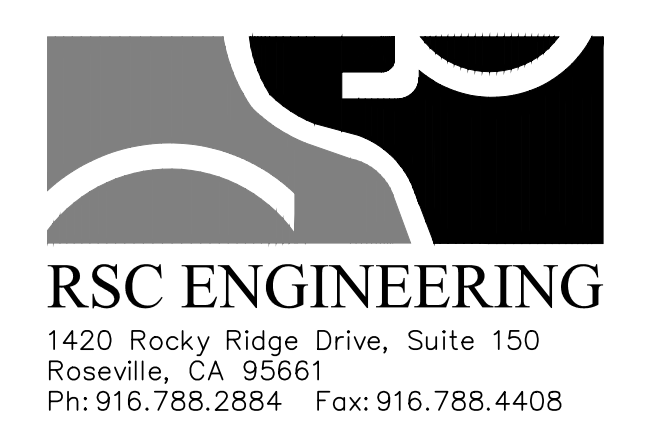
BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ROSEVILLE BENCHMARK NO. 71. A 3 1/2" BRASS DISC STAMPED "LS6046, DEC. 1995" SET IN THE TOP BACK OF CURB AND WEST OF A DRAIN INLET, NORTH SIDE OF PLEASANT GROVE BLVD. +\ - 900' EAST OF FIDDYMENT ROAD. ELEVATION = 122.34'

TENTATIVE MAP
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

TM1

RSC JOB #: 277-001
DATE: 07/22/2022

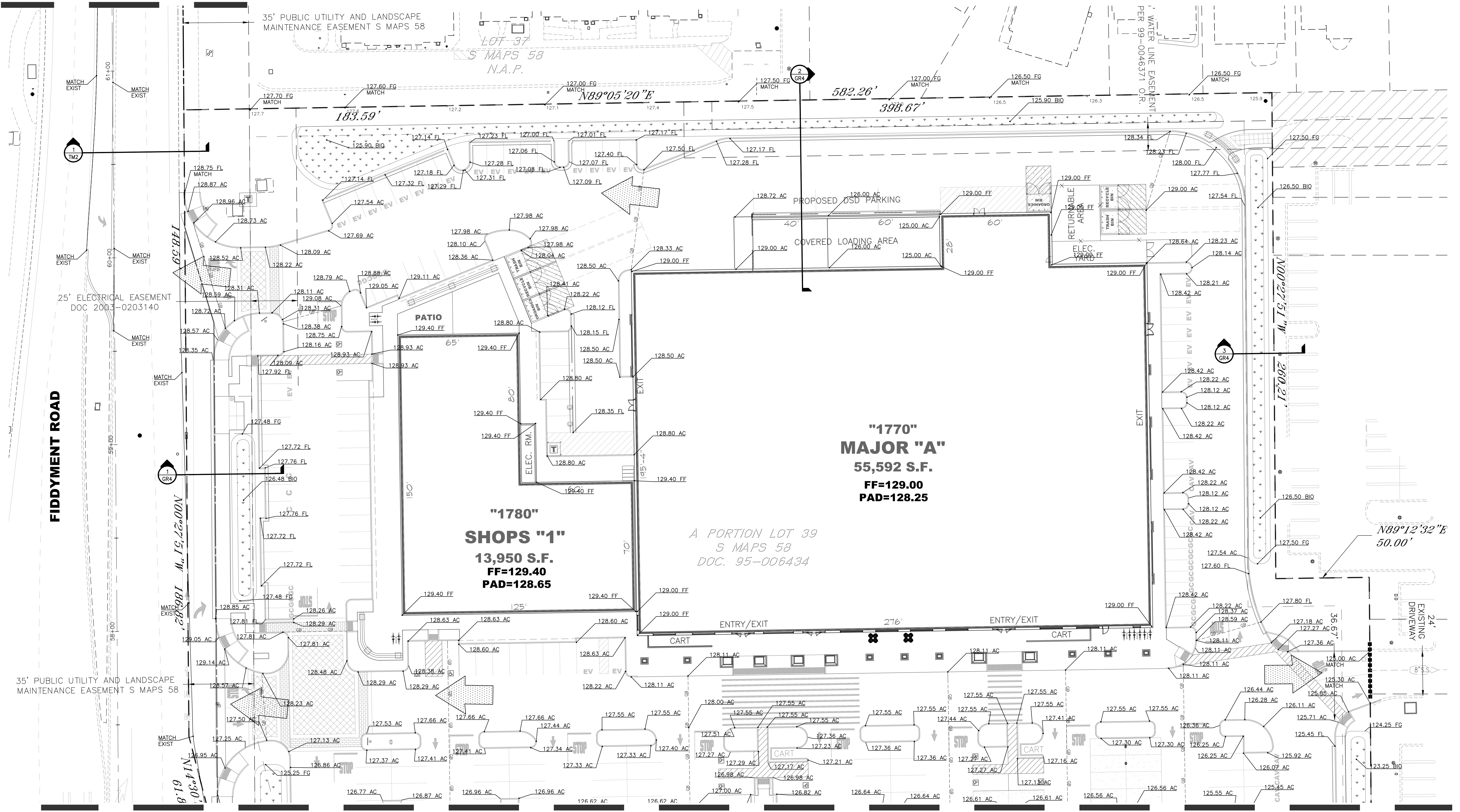


NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.

MATCH LINE SEE SHEET GR 3



MATCH LINE SEE SHEET GR 2

***PRELIMINARY EARTHWORK QUANTITIES**
 CUT 10,578.25± CU YARD
 FILL 14,795.56± CU YARD
 TOTAL (CUT) 4,217.31± CU YARD

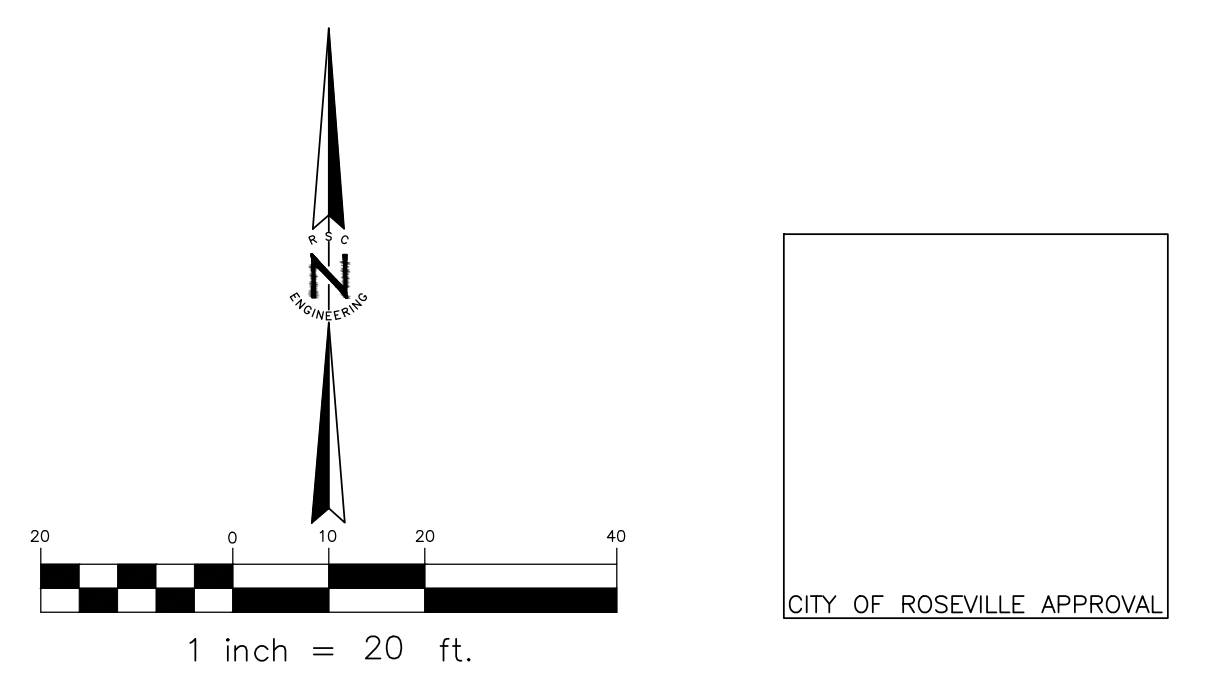
***NOTE:**
 THIS INFORMATION IS SHOWN FOR PLAN REQUIREMENT PURPOSES ONLY. THE CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK CALCULATIONS AND BID ACCORDINGLY.

NOTES

- CONTRACTOR SHALL STRIP AND REMOVE EXISTING ORGANICS LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPRESENTATIVE RECOMMENDATIONS. ORGANICS SHALL BE PLACED IN A TEMPORARY STOCKPILE AND PLACED IN DISTURBED AREAS UPON COMPLETION OF GRADING ACTIVITIES.
- ALL GRADING AND COMPACTION OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING WATER, SEWER AND STORM DRAIN APPURTENANCES TO GRADE.

LEGEND

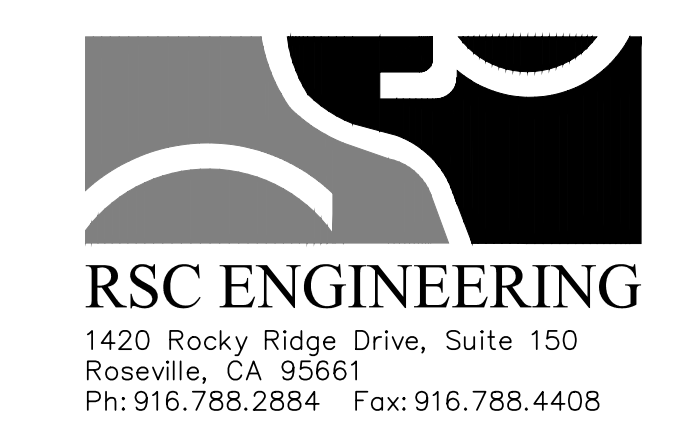
- 100.00 FL EXISTING GRADE
- 125 EXISTING CONTOUR
- PAD GRADING LIMITS
- 100.00 FL PROPOSED GRADE
- OVERLAND RELEASE ARROW



PRELIMINARY GRADING PLAN
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

GR1

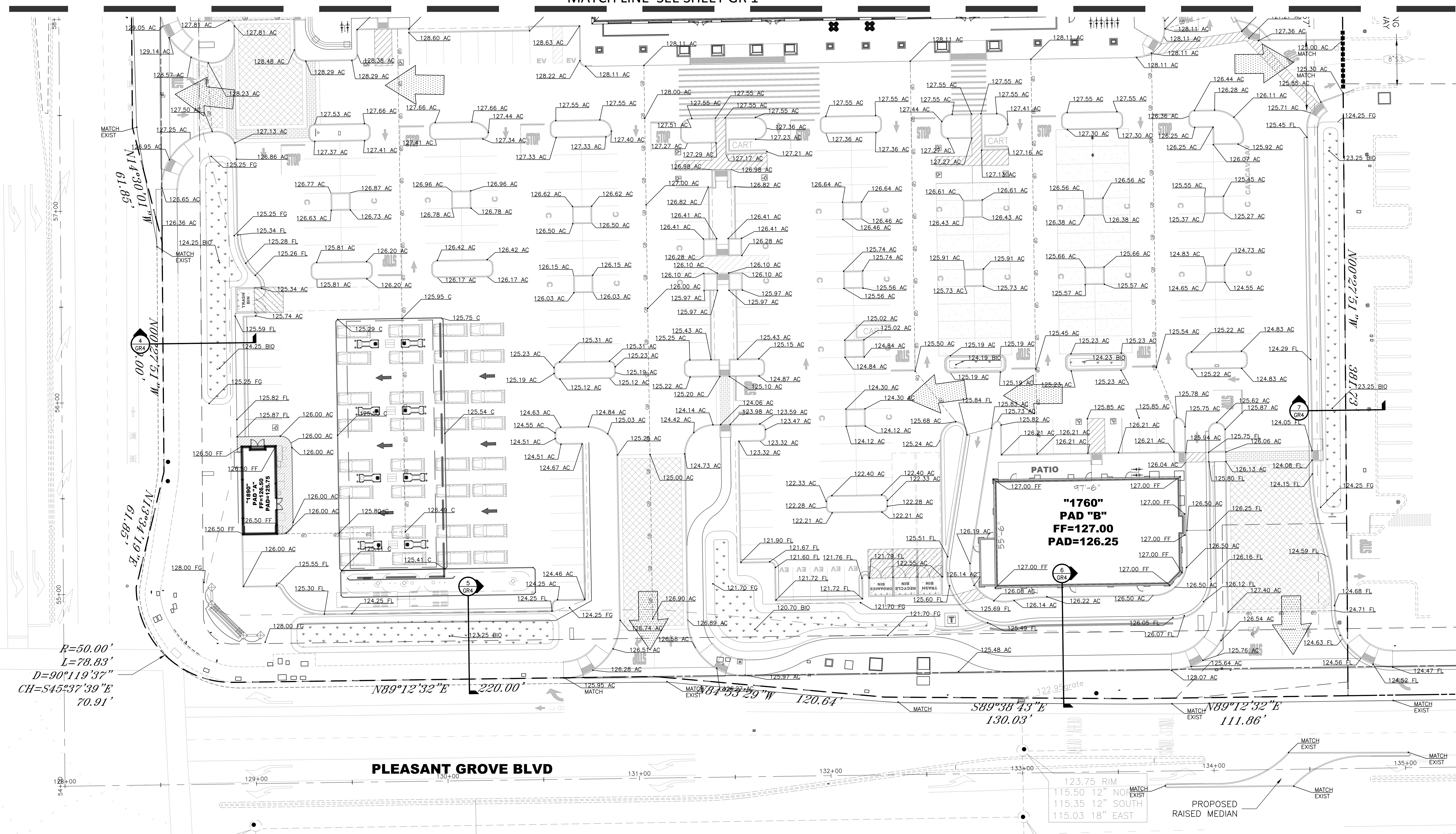
RSC JOB #: 277-001
 DATE: 07/22/2022



NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM



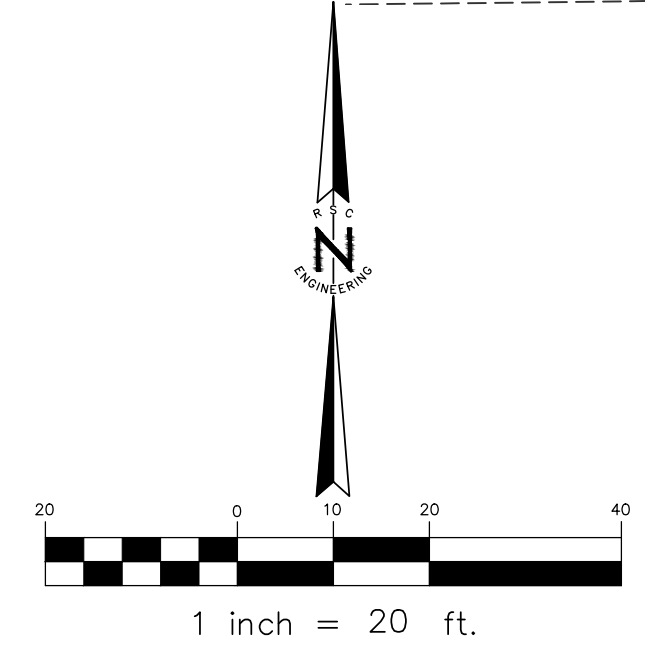
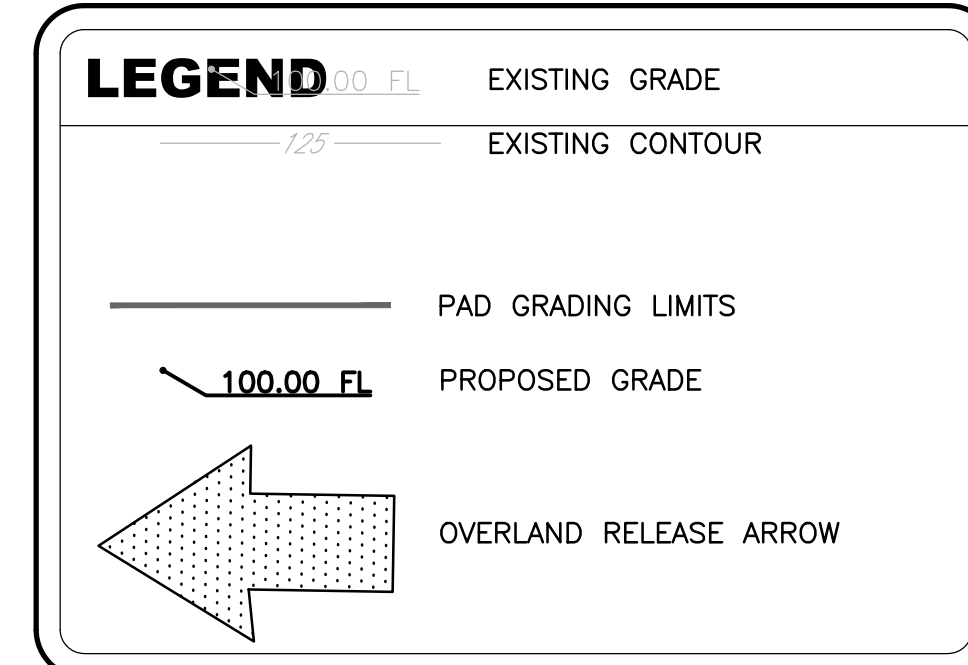
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.



$R=50.00'$
 $L=78.83'$
 $D=90^{\circ}119'37''$
 $CH=S45^{\circ}37'39''E$
 $70.91'$

PLEASANT GROVE BLVD

- NOTES**
- CONTRACTOR SHALL STRIP AND REMOVE EXISTING ORGANICS LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPRESENTATIVE RECOMMENDATIONS. ORGANICS SHALL BE PLACED IN A TEMPORARY STOCKPILE AND PLACED IN DISTURBED AREAS UPON COMPLETION OF GRADING ACTIVITIES.
 - ALL GRADING AND COMPACTION OPERATIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
 - CONTRACTOR SHALL ADJUST EXISTING WATER, SEWER AND STORM DRAIN APPURTENANCES TO GRADE.

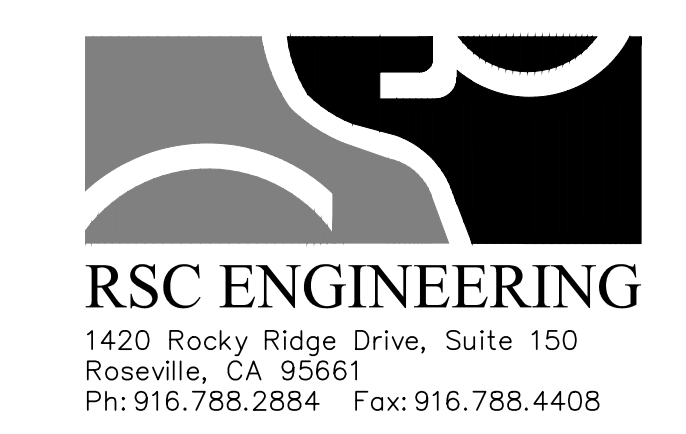


MATCH LINE SEE SHEET GR 3

PRELIMINARY GRADING PLAN
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

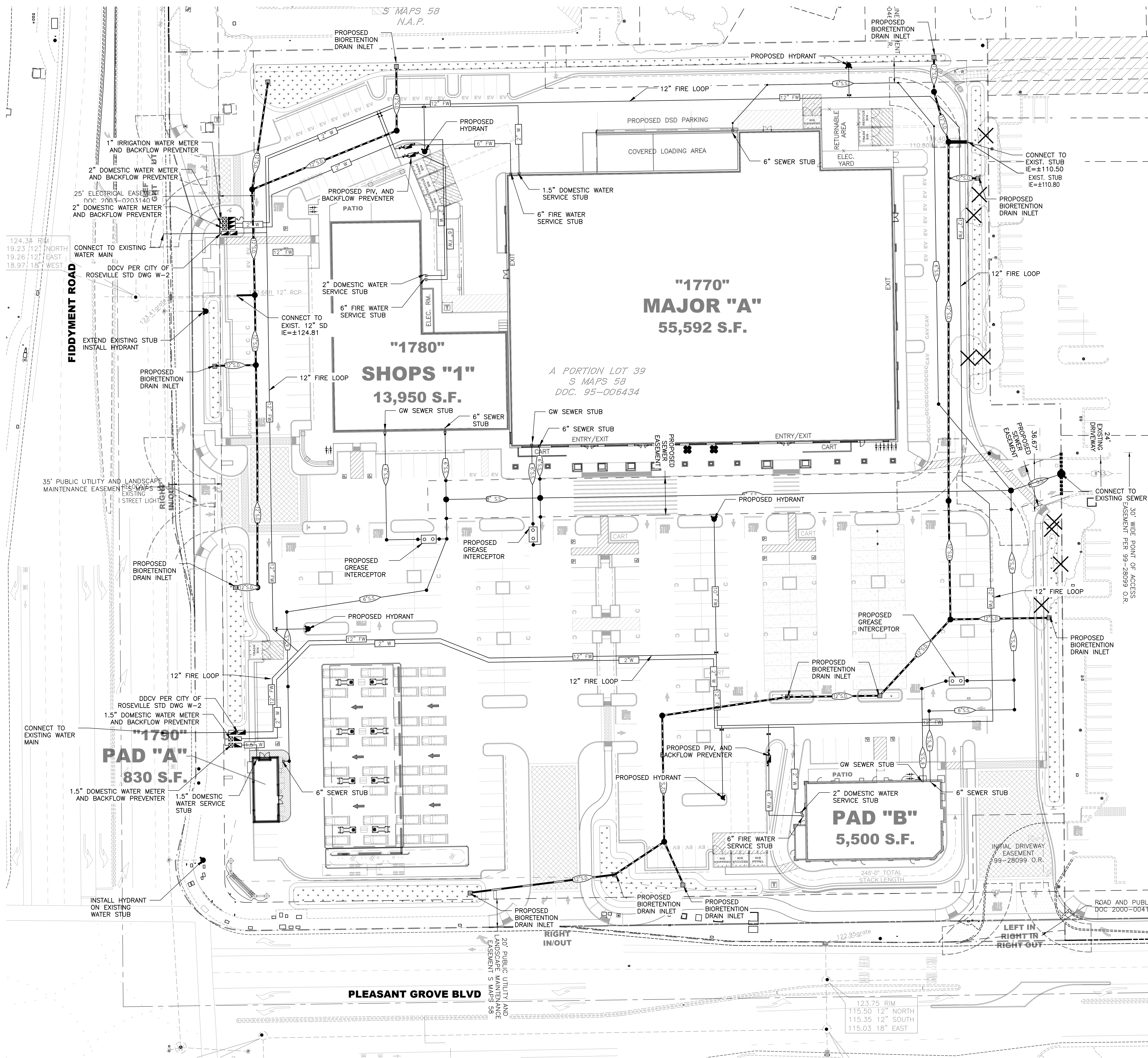
GR2

RSC JOB #: 277-001
 DATE: 07/22/2022



NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM





LEGEND	
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN
	PROPOSED DOMESTIC WATER LINE
	EXISTING DOMESTIC WATER LINE
	PROPOSED FIRE SERVICE
	PROPOSED WATER METER
	PROPOSED FIRE DEPARTMENT CONNECTION ASSEMBLY
	PROPOSED FIRE HYDRANT
	PROPOSED BIORETENTION STORM WATER PLANTER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED STORM DRAIN INLET
	EXISTING PROPERTY LINE
	EXISTING P.U.E.

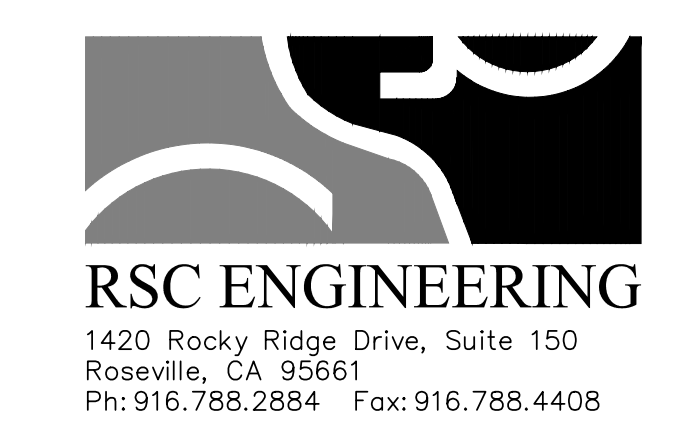
POTHOLING INSTRUCTIONS

A MINIMUM TWO WEEKS PRIOR TO BEGINNING CONSTRUCTION ON THE UTILITY LINES, THE CONTRACTOR SHALL POTHOLE THE EXISTING UTILITIES SHOWN ON THESE PLANS AND SURVEY AND DETERMINE THE ELEVATION, SIZE AND LOCATION OF THE UTILITIES TO THE NEAREST 0.10'. THE CONTRACTOR SHALL COORDINATE TIMING OF THE POTHOLES WORK WITH RSC ENGINEERING. AFTER SURVEY CREWS HAVE LOCATED THE UTILITIES THE CONTRACTOR SHALL BACKFILL THE POTHOLES AND PLACE AC IF NECESSARY, ALL IN ACCORDANCE WITH CITY STANDARDS. A COPY OF THE SURVEY INFORMATION SHALL BE PROVIDED TO RSC ENGINEERING. RSC ENGINEERING SHALL COORDINATE WITH THE LOCAL JURISDICTION AND REVISE THE ALIGNMENT OF THE UTILITY LINES IF NECESSARY. REVISIONS SHALL REQUIRE THE APPROVAL OF THE LOCAL JURISDICTION.

PRELIMINARY UTILITY PLAN
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

UT1

RSC JOB #: 277-001
 DATE: 07/22/2022



NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM



ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT: NADEL STUDIO ONE, INC.

1600 - ELECTRICAL

GENERAL
DESCRIPTION
DIVISION 16 OF THE SPECIFICATIONS COVERS ALL ELECTRICAL WORK FOR THE PROJECT. WORK SHALL INCLUDE LABOR, MATERIAL, AND ACCESSORIES NECESSARY TO COMPLETE THE WORK AS SPECIFIED AND SHOWN ON THE DRAWINGS, INCLUDING CONNECTION AND CHECKOUTS OF EQUIPMENT FURNISHED BY OTHER TRADES. THE OWNER AND OTHER TRADES (AS CONTRACTORS), AND TO ALL EQUIPMENT ITEMS AND AS INDICATED ON DRAWINGS OR AS REQUIRED.

THE ARCHITECTURAL SPECIFICATIONS AND DRAWINGS INCLUDING THE GENERAL CONDITIONS, INCLUDING ALL SUPPLEMENTS ISSUED THERETO, INSTRUCTIONS TO BIDDERS, AND OTHERS PERTINENT DOCUMENTS ISSUED BY THE ARCHITECT ARE A PART OF THESE SPECIFICATIONS AND ELECTRICAL DRAWINGS. THIS TRADE SHALL CONSULT THEM FOR INSTRUCTIONS WHICH APPLY. DRAWINGS INDICATE FLOOR ELEVATIONS AND PANELBOARD LAYOUTS AND WORK INCLUDES ELECTRICAL SHALL FOLLOW DRAWINGS IN LAYOUT OF THE ELECTRICAL WORK AND CONSULT THE DRAWINGS AND LAYOUTS OF OTHER TRADES TO VERIFY LOCATION AND SPACES IN WHICH WORK WILL BE INSTALLED.

CODES, PERMITS, INSPECTION AND COMMISSIONING
INSTALLATION SHALL COMPLY WITH ALL LAWS APPLYING TO ELECTRICAL WORK IN EFFECT, INCLUDING THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (N.E.C.), THE NATIONAL ELECTRICAL SAFETY CODE, ALL LOCAL GOVERNING CODES AND ORDINANCES, WITH THE REGULATIONS OF THE SERVING ELECTRICAL UTILITY COMPANY. PROVIDE ALL REQUIRED PERMITS AND INCLUDE THE COST OF SAME IN THE COST OF THE PROJECT. OBTAIN AND PAY FOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER ALL REQUIRED INSPECTIONS AND REVIEWS. PROVIDE FOR AND PAY ALL EXPENSES WITHOUT ADDITIONAL EXPENSE TO THE OWNER ASSOCIATED WITH LIGHTING AND LIGHTING CONTROLS. COMMISSIONING, ALL COMMISSIONING DOCUMENTATION SHALL BE CERTIFIED ACCORDING TO AND DESIGN PROFESSIONAL.

QUALITY ASSURANCE
THE FOLLOWING INDUSTRY STANDARDS AS APPLICABLE TO ELECTRICAL WORK SHALL APPLY TO THE WORK OF THIS DIVISION EXCEPT THAT, WHERE THE REQUIREMENTS OF THESE SPECIFICATIONS ARE MORE THAN THE INDUSTRY STANDARD, THESE SPECIFICATIONS SHALL TAKE PRECEDENCE:

UL - UNDERWRITERS LABORATORIES
NECA - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NECA - NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION
ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
ASTM - AMERICAN SOCIETY OF TESTING MATERIALS

ALL MATERIALS SHALL BE NEW, UL LISTED AND LABELED WHERE LABELED MATERIALS ARE AVAILABLE. UNDAMAGED AND FREE OF DEFECTS AT TIME OF INSTALLATION. MATERIALS OR EQUIPMENT DAMAGED IN SHIPMENT OR OTHERWISE DAMAGED PRIOR TO OR DURING INSTALLATION SHALL NOT BE REPAIRED AT THE JOB SITE, BUT SHALL BE PERMANENTLY REJECTED. MATERIALS WHEN THE MANUFACTURER'S NAME APPEARS IN THESE SPECIFICATIONS AND DRAWINGS SHALL BE IDENTIFIED AS SUCH. MATERIALS SHALL BE IDENTIFIED TO MEET THE FULL REQUIREMENTS OF THE SPECIFICATIONS AND DRAWINGS.

SUBMITTALS
SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR EQUIPMENT TO THE ARCHITECT FOR REVIEW ELECTRONICALLY OR HARD COPIES. INCLUDE SUFFICIENT INFORMATION TO INDICATE COMPLETE COMPLIANCE WITH ALL REQUIREMENTS. SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT WITHIN THE PROJECT SCHEDULE. ALLOW ONE WEEK FOR ENGINEER REVIEW TIME. THE ENGINEER'S SUBMITTAL REVIEWS WILL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS IN DIMENSIONS, DETAIL, SIZE OF MEMBERS, OR QUANTITIES; OR FOR OMITTING COMPONENTS OR FITTINGS; OR FOR NOT COORDINATING ITEMS WITH ACTUAL BUILDING CONDITIONS AND/OR OTHER TRADES.

OWNER RECORDS
ACCURATE RECORD THE PROGRESS OF THE JOB, THE FOLLOWING DATA IN DUPLICATE, AND PREPARE IN A NEAT BROCHURE OR PACKET FOLDER TO BE TURNED OVER TO THE OWNER AT SUBSTANTIAL COMPLETION. RECORD DRAWINGS PER ABOVE.

ALL WARRANTIES, GUARANTEES, AND MANUFACTURER'S DIRECTION ON EQUIPMENT & MATERIAL FURNISHED.

COMPLETE PLAIN ENGLISH STEP-BY-STEP OPERATING INSTRUCTIONS FOR THE ELECTRICAL SYSTEM. ONE COPY OF THESE INSTRUCTIONS SHALL BE FRAMED AND POSTED AS DESCRIBED ON THE PREMISES.

CERTIFIED LIGHTING AND LIGHTING CONTROLS COMMISSIONING AS REQUIRED BY CURRENTLY ADOPTED ENERGY CODE REQUIREMENTS.

MANUFACTURER'S NAMES AND CATALOG NUMBERS
ELECTRIC EQUIPMENT SHALL BE IDENTIFIED AS SUCH BY MANUFACTURER'S NAME AND MODEL OR CATALOG NUMBERS. USE OF NAMES AND CATALOG NUMBERS DOES NOT IMPLY THAT THE EQUIPMENT IS IDENTIFIED TO MEET THE REQUIREMENT OF "OF THE SHELF" ITEM. VARIANCES MAY BE DUE TO EQUIPMENT OF DESIRED FINISH, MATERIAL OR OTHER MODIFICATION.

IN THE CASE OF PANELBOARDS, SAFETY SWITCHES AND OTHER EQUIPMENT REQUIRING WIRE AND CABLE TERMINATIONS, ACCEPTABLE THAT LUG SIZES AND WIRING OUTLETS OR WIRING SPACE ALLOWED IS PROPER FOR THE WIRES AND CABLES CONNECTED THERETO.

WHEN APPROVAL IS GIVEN FOR THE USE OF EQUIPMENT DIFFERING FROM THAT SHOWN ON DRAWINGS IN REGARD TO FOUNDATIONS, SPACE FOR PIPING, OUTLETWORK, WIRING, INSULATION, ETC. CHANGES REQUIRED TO ACCOMPLISH SUCH DIFFERENCES SHALL BE ACCOMPLISHED AT NO COST TO THE OWNER.

PROTECTION OF EQUIPMENT
ELECTRICAL EQUIPMENT SHALL BE PROTECTED FROM THE WEATHER, IN PARTICULAR DRIPPING OR SPLASHING WATER, AT ALL TIMES DURING SHIPMENT, STORAGE AND CONSTRUCTION. MANUFACTURER'S RECOMMENDATIONS WITH REGARD TO STORAGE, PROTECTION, AND HANDLING SHALL BE FOLLOWED.

SHOULD ANY APPARATUS BE SUBJECT TO POSSIBLE INJURY DUE TO WATER IT SHALL BE THOROUGHLY DRIED AND PUT THROUGH A DIELECTRIC TEST AT THE EXPENSE OF THE CONTRACTOR, TO ASCERTAIN THE SUITABILITY OF THE APPARATUS OR IT SHALL BE REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

DAMAGED OR DEFECTIVE EQUIPMENT: INSPECT ALL ELECTRICAL EQUIPMENT AND MATERIALS PRIOR TO INSTALLATION. INSTALLATION OR PLACEMENT INTO SERVICE OF DAMAGED MATERIALS WITHOUT THE PRIOR WRITTEN CONSENT OF THE OWNER IS PROHIBITED. REPLACE OR REPAIR TO NEW CONDITION, AS CONCENTRIC, COMPRESSED STRANDED FOR NO. 14 AWG AND LARGER, ALL BRANCH CIRCUIT CONDUCTORS NO. 8 AWG AND LARGER, STRANDED, COMPRESSED STRANDED FOR NO. 14 AWG AND LARGER, USED FOR POWER AND LIGHTING CIRCUITS; SOLID COPPER, TYPE THHN-2 INSULATION (WET OR DAMP LOCATIONS, OR IN CONTACT WITH LOW GRADE OR SLAB); TYPE THHN INSULATION (DRY LOCATIONS ONLY ABOVE GRADE); OR DUAL RATED, TYPE THHN/THW-2. ALL BRANCH CIRCUIT WIRING SHALL NOT BE SMALLER THAN NO. 12 AWG, IF NO CONDUCTOR SIZE IS INDICATED ON THE DRAWINGS FOR A BRANCH CIRCUIT. PROVIDE CONDUCTORS AND CONDUIT SIZED PER NFPA 70 AND BASED ON THE INDICATED BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE RATING AND NUMBER OF POLES. WHERE NO CIRCUIT SIZE / CONDUCTORS AND OVERCURRENT PROTECTIVE DEVICE IS INDICATED ON THE DRAWINGS FOR A BRANCH CIRCUIT, PROVIDE THREE NO. 12 AWG CONDUCTORS IN 3/4" RACEWAY, AND A 2/0 SINGLE POLE CIRCUIT BREAKER.

INSULATION (WET OR DAMP LOCATIONS, OR IN CONTACT WITH LOW GRADE OR SLAB); TYPE THHN INSULATION (DRY LOCATIONS ONLY ABOVE GRADE); OR DUAL RATED, TYPE THHN/THW-2. ALL BRANCH CIRCUIT WIRING SHALL NOT BE SMALLER THAN NO. 12 AWG, IF NO CONDUCTOR SIZE IS INDICATED ON THE DRAWINGS FOR A BRANCH CIRCUIT. PROVIDE CONDUCTORS AND CONDUIT SIZED PER NFPA 70 AND BASED ON THE INDICATED BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE RATING AND NUMBER OF POLES. WHERE NO CIRCUIT SIZE / CONDUCTORS AND OVERCURRENT PROTECTIVE DEVICE IS INDICATED ON THE DRAWINGS FOR A BRANCH CIRCUIT, PROVIDE THREE NO. 12 AWG CONDUCTORS IN 3/4" RACEWAY, AND A 2/0 SINGLE POLE CIRCUIT BREAKER.

WORKMANSHIP
ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.

ANY MATERIAL, ITEMS OR WORK NOT SHOWN ON THE DRAWINGS, BUT MENTIONED IN THESE SPECIFICATIONS OR VISA-VERSA, OR ANY ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE IN ALL RESPECTS AND READY FOR OPERATION SHALL BE PROVIDED WITHOUT ADDITIONAL COST TO THE OWNER.

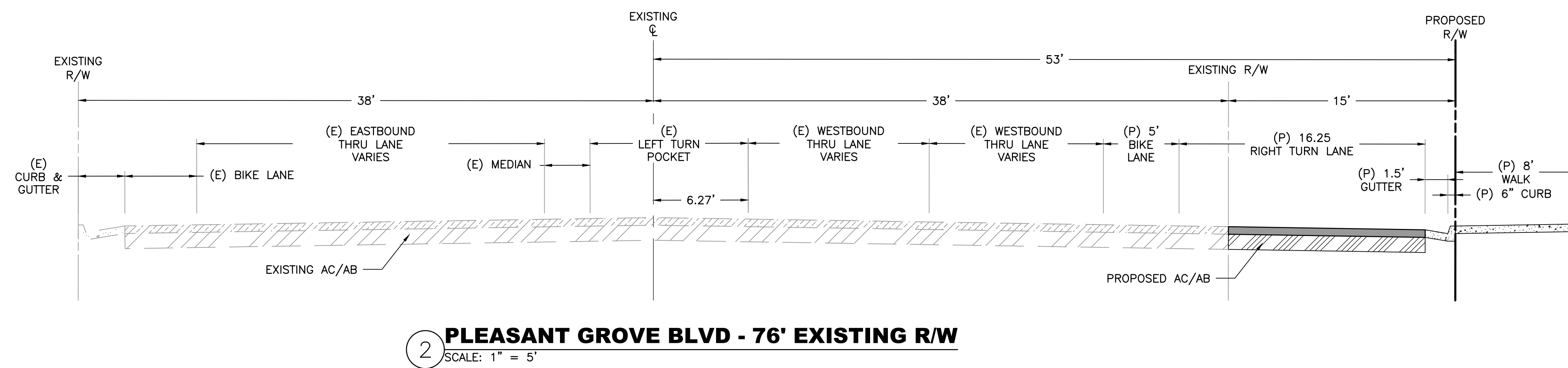
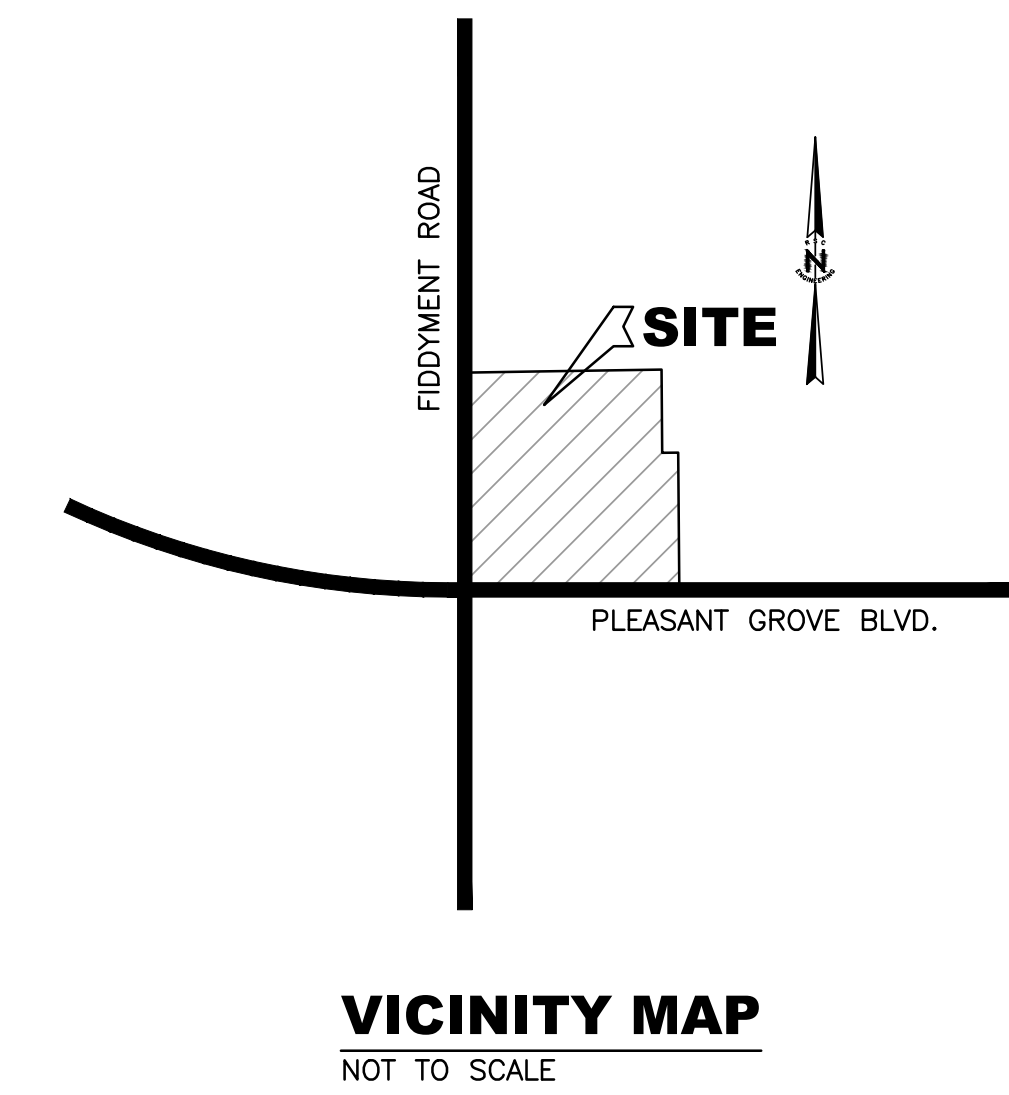
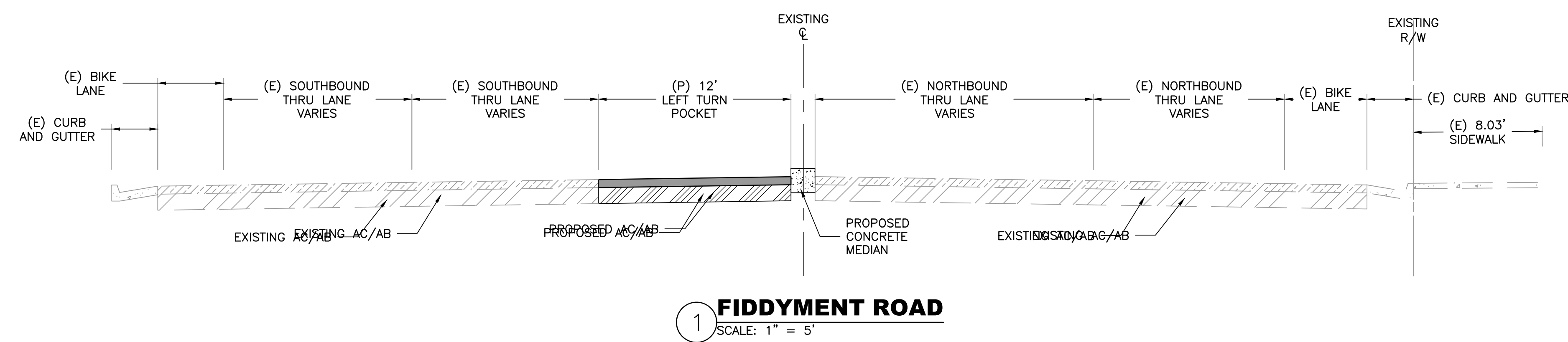
THIS TRADE SHALL DO OR HAVE DONE BY COMPETENT TRADESMAN ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF THIS WORK, AND CUTTING OR NOT CUTTING IN CONSTRUCTIVE PARTS OF THE BUILDING LIQUID TO IMPAIR ITS STRENGTH SHALL BE DONE WITHOUT THE ARCHITECT-ENGINEER'S WRITTEN APPROVAL.

EXCAVATION AND BACKFILL

EXCAVATION, TRENCHING AND BACKFILLING ARE SPECIFIED IN SECTION 16.01. EXCAVATION, TRENCHING AND BACKFILLING FOR UTILITIES. CONDUIT IS TO BE INSTALLED AS SPECIFIED FOR CONDUIT BREAKERS. LIMIT THE ONE-WAY CONDUCTOR SLAB SHALL BE A MINIMUM OF 8" BELOW SLAB. BACKFILL OVER CONDUIT SHALL BE COMPACTED AS FOR SLAB CONSTRUCTION. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS OF CONDUIT (PIPE) PENETRATION OF EXTERIOR FLOORS. COMPLETE INSTALLATION SHALL CONFORM TO N.E.C.

CONDUIT
CONDUIT SHALL BE ELEVATE INSTALLATION AND APPLICATION WITH SELECTION AND APPLICATION OF FIRE-STOPPING SPECIFIED IN ARCHITECTURAL SPECIFICATIONS OR AS REQUIRED.

COORINATE ALL ROOFS
FABRICATE IN ACCORDANCE WITH NEMA AND N.E.C. STANDARDS AND REQUIREMENTS INSIDE/AS MATERIAL, GAUGES, DIMENSIONS, ANGLE FABRICATION METHODS. BOXES SHALL BEAT THE LABEL. WHERE BOXES ARE NOT SIZED ON THE DRAWINGS, THEY SHALL BE SIZED IN ACCORDANCE WITH THE FOLLOWING: 1. 1/2" FOR 1/2" THROUGH ROOF. 2. 1/2" FOR 1/2" THROUGH ROOF. 3. 1/2" FOR 1/2" THROUGH ROOF. 4. 1/2" FOR 1/2" THROUGH ROOF. 5. 1/2" FOR 1/2" THROUGH ROOF. 6. 1/2" FOR 1/2" THROUGH ROOF. 7. 1/2" FOR 1/2" THROUGH ROOF. 8. 1/2" FOR 1/2" THROUGH ROOF. 9. 1/2" FOR 1/2" THROUGH ROOF. 10. 1/2" FOR 1/2" THROUGH ROOF. 11. 1/2" FOR 1/2" THROUGH ROOF. 12. 1/2" FOR 1/2" THROUGH ROOF. 13. 1/2" FOR 1/2" THROUGH ROOF. 14. 1/2" FOR 1/2" THROUGH ROOF. 15. 1/2" FOR 1/2" THROUGH ROOF. 16. 1/2" FOR 1/2" THROUGH ROOF. 17. 1/2" FOR 1/2" THROUGH ROOF. 18. 1/2" FOR 1/2" THROUGH ROOF. 19. 1/2" FOR 1/2" THROUGH ROOF. 20. 1/2" FOR 1/2" THROUGH ROOF. 21. 1/2" FOR 1/2" THROUGH ROOF. 22. 1/2" FOR 1/2" THROUGH ROOF. 23. 1/2" FOR 1/2" THROUGH ROOF. 24. 1/2" FOR 1/2" THROUGH ROOF. 25. 1/2" FOR 1/2" THROUGH ROOF. 26. 1/2" FOR 1/2" THROUGH ROOF. 27. 1/2" FOR 1/2" THROUGH ROOF. 28. 1/2" FOR 1/2" THROUGH ROOF. 29. 1/2" FOR 1/2" THROUGH ROOF. 30. 1/2" FOR 1/2" THROUGH ROOF. 31. 1/2" FOR 1/2" THROUGH ROOF. 32. 1/2" FOR 1/2" THROUGH ROOF. 33. 1/2" FOR 1/2" THROUGH ROOF. 34. 1/2" FOR 1/2" THROUGH ROOF. 35. 1/2" FOR 1/2" THROUGH ROOF. 36. 1/2" FOR 1/2" THROUGH ROOF. 37. 1/2" FOR 1/2" THROUGH ROOF. 38. 1/2" FOR 1/2" THROUGH ROOF. 39. 1/2" FOR 1/2" THROUGH ROOF. 40. 1/2" FOR 1/2" THROUGH ROOF. 41. 1/2" FOR 1/2" THROUGH ROOF. 42. 1/2" FOR 1/2" THROUGH ROOF. 43. 1/2" FOR 1/2" THROUGH ROOF. 44. 1/2" FOR 1/2" THROUGH ROOF. 45. 1/2" FOR 1/2" THROUGH ROOF. 46. 1/2" FOR 1/2" THROUGH ROOF. 47. 1/2" FOR 1/2" THROUGH ROOF. 48. 1/2" FOR 1/2" THROUGH ROOF. 49. 1/2" FOR 1/2" THROUGH ROOF. 50. 1/2" FOR 1/2" THROUGH ROOF. 51. 1/2" FOR 1/2" THROUGH ROOF. 52. 1/2" FOR 1/2" THROUGH ROOF. 53. 1/2" FOR 1/2" THROUGH ROOF. 54. 1/2" FOR 1/2" THROUGH ROOF. 55. 1/2" FOR 1/2" THROUGH ROOF. 56. 1/2" FOR 1/2" THROUGH ROOF. 57. 1/2" FOR 1/2" THROUGH ROOF. 58. 1/2" FOR 1/2" THROUGH ROOF. 59. 1/2" FOR 1/2" THROUGH ROOF. 60. 1/2" FOR 1/2" THROUGH ROOF. 61. 1/2" FOR 1/2" THROUGH ROOF. 62. 1/2" FOR 1/2" THROUGH ROOF. 63. 1/2" FOR 1/2" THROUGH ROOF. 64. 1/2" FOR 1/2" THROUGH ROOF. 65. 1/2" FOR 1/2" THROUGH ROOF. 66. 1/2" FOR 1/2" THROUGH ROOF. 67. 1/2" FOR 1/2" THROUGH ROOF. 68. 1/2" FOR 1/2" THROUGH ROOF. 69. 1/2" FOR 1/2" THROUGH ROOF. 70. 1/2" FOR 1/2" THROUGH ROOF. 71. 1/2" FOR 1/2" THROUGH ROOF. 72. 1/2" FOR 1/2" THROUGH ROOF. 73. 1/2" FOR 1/2" THROUGH ROOF. 74. 1/2" FOR 1/2" THROUGH ROOF. 75. 1/2" FOR 1/2" THROUGH ROOF. 76. 1/2" FOR 1/2" THROUGH ROOF. 77. 1/2" FOR 1/2" THROUGH ROOF. 78. 1/2" FOR 1/2" THROUGH ROOF. 79. 1/2" FOR 1/2" THROUGH ROOF. 80. 1/2" FOR 1/2" THROUGH ROOF. 81. 1/2" FOR 1/2" THROUGH ROOF. 82. 1/2" FOR 1/2" THROUGH ROOF. 83. 1/2" FOR 1/2" THROUGH ROOF. 84. 1/2" FOR 1/2" THROUGH ROOF. 85. 1/2" FOR 1/2" THROUGH ROOF. 86. 1/2" FOR 1/2" THROUGH ROOF. 87. 1/2" FOR 1/2" THROUGH ROOF. 88. 1/2" FOR 1/2" THROUGH ROOF. 89. 1/2" FOR 1/2" THROUGH ROOF. 90. 1/2" FOR 1/2" THROUGH ROOF. 91. 1/2" FOR 1/2" THROUGH ROOF. 92. 1/2" FOR 1/2" THROUGH ROOF. 93. 1/2" FOR 1/2" THROUGH ROOF. 94. 1/2" FOR 1/2" THROUGH ROOF. 95. 1/2" FOR 1/2" THROUGH ROOF. 96. 1/2" FOR 1/2" THROUGH ROOF. 97. 1/2" FOR 1/2" THROUGH ROOF. 98. 1/2" FOR 1/2" THROUGH ROOF. 99. 1/2" FOR 1/2" THROUGH ROOF. 100. 1/2" FOR 1/2" THROUGH ROOF. 101. 1/2" FOR 1/2" THROUGH ROOF. 102. 1/2" FOR 1/2" THROUGH ROOF. 103. 1/2" FOR 1/2" THROUGH ROOF. 104. 1/2" FOR 1/2" THROUGH ROOF. 105. 1/2" FOR 1/2" THROUGH ROOF. 106. 1/2" FOR 1/2" THROUGH ROOF. 107. 1/2" FOR 1/2" THROUGH ROOF. 108. 1/2" FOR 1/2" THROUGH ROOF. 109. 1/2" FOR 1/2" THROUGH ROOF. 110. 1/2" FOR 1/2" THROUGH ROOF. 111. 1/2" FOR 1/2" THROUGH ROOF. 112. 1/2" FOR 1/2" THROUGH ROOF. 113. 1/2" FOR 1/2" THROUGH ROOF. 114. 1/2" FOR 1/2" THROUGH ROOF. 115. 1/2" FOR 1/2" THROUGH ROOF. 116. 1/2" FOR 1/2" THROUGH ROOF. 117. 1/2" FOR 1/2" THROUGH ROOF. 118. 1/2" FOR 1/2" THROUGH ROOF. 119. 1/2" FOR 1/2" THROUGH ROOF. 120. 1/2" FOR 1/2" THROUGH ROOF. 121. 1/2" FOR 1/2" THROUGH ROOF. 122. 1/2" FOR 1/2" THROUGH ROOF. 123. 1/2" FOR 1/2" THROUGH ROOF. 124. 1/2" FOR 1/2" THROUGH ROOF. 125. 1/2" FOR 1/2" THROUGH ROOF. 126. 1/2" FOR 1/2" THROUGH ROOF. 127. 1/2" FOR 1/2" THROUGH ROOF. 128. 1/2" FOR 1/2" THROUGH ROOF. 129. 1/2" FOR 1/2" THROUGH ROOF. 130. 1/2" FOR 1/2" THROUGH ROOF. 131. 1/2" FOR 1/2" THROUGH ROOF. 132. 1/2" FOR 1/2" THROUGH ROOF. 133. 1/2" FOR 1/2" THROUGH ROOF. 134. 1/2" FOR 1/2" THROUGH ROOF. 135. 1/2" FOR 1/2" THROUGH ROOF. 136. 1/2" FOR 1/2" THROUGH ROOF. 137. 1/2" FOR 1/2" THROUGH ROOF. 138. 1/2" FOR 1/2" THROUGH ROOF. 139. 1/2" FOR 1/2" THROUGH ROOF. 140. 1/2" FOR 1/2" THROUGH ROOF. 141. 1/2" FOR 1/2" THROUGH ROOF. 142. 1/2" FOR 1/2" THROUGH ROOF. 143. 1/2" FOR 1/2" THROUGH ROOF. 144. 1/2" FOR 1/2" THROUGH ROOF. 145. 1/2" FOR 1/2" THROUGH ROOF. 146. 1/2" FOR 1/2" THROUGH ROOF. 147. 1/2" FOR 1/2" THROUGH ROOF. 148. 1/2" FOR 1/2" THROUGH ROOF. 149. 1/2" FOR 1/2" THROUGH ROOF. 150. 1/2" FOR 1/2" THROUGH ROOF. 151. 1/2" FOR 1/2" THROUGH ROOF. 152. 1/2" FOR 1/2" THROUGH ROOF. 153. 1/2" FOR 1/2" THROUGH ROOF. 154. 1/2" FOR 1/2" THROUGH ROOF. 155. 1/2" FOR 1/2" THROUGH ROOF. 156. 1/2" FOR 1/2" THROUGH ROOF. 157. 1/2" FOR 1/2" THROUGH ROOF. 158. 1/2" FOR 1/2" THROUGH ROOF. 159. 1/2" FOR 1/2" THROUGH ROOF. 160. 1/2" FOR 1/2" THROUGH ROOF. 161. 1/2" FOR 1/2" THROUGH ROOF. 162. 1/2" FOR 1/2" THROUGH ROOF. 163. 1/2" FOR 1/2" THROUGH ROOF. 164. 1/2" FOR 1/2" THROUGH ROOF. 165. 1/2" FOR 1/2" THROUGH ROOF. 166. 1/2" FOR 1/2" THROUGH ROOF. 167. 1/2" FOR 1/2" THROUGH ROOF. 168. 1/2" FOR 1/2" THROUGH ROOF. 169. 1/2" FOR 1/2" THROUGH ROOF. 170. 1/2" FOR 1/2" THROUGH ROOF. 171. 1/2" FOR 1/2" THROUGH ROOF. 172. 1/2" FOR 1/2" THROUGH ROOF. 173. 1/2" FOR 1/2" THROUGH ROOF. 174. 1/2" FOR 1/2" THROUGH ROOF. 175. 1/2" FOR 1/2" THROUGH ROOF. 176. 1/2" FOR 1/2" THROUGH ROOF. 177. 1/2" FOR 1/2" THROUGH ROOF. 178. 1/2" FOR 1/2" THROUGH ROOF. 179. 1/2" FOR 1/2" THROUGH ROOF. 180. 1/2" FOR 1/2" THROUGH ROOF. 181. 1/2" FOR 1/2" THROUGH ROOF. 182. 1/2" FOR 1/2" THROUGH ROOF. 183. 1/2" FOR 1/2" THROUGH ROOF. 184. 1/2" FOR 1/2" THROUGH ROOF. 185. 1/2" FOR 1/2" THROUGH ROOF. 186. 1/2" FOR 1/2" THROUGH ROOF. 187. 1/2" FOR 1/2" THROUGH ROOF. 188. 1/2" FOR 1/2" THROUGH ROOF. 189. 1/2" FOR 1/2" THROUGH ROOF. 190. 1/2" FOR 1/2" THROUGH ROOF. 191. 1/2" FOR 1/2" THROUGH ROOF. 192. 1/2" FOR 1/2" THROUGH ROOF. 193. 1/2" FOR 1/2" THROUGH ROOF. 194. 1/2" FOR 1/2" THROUGH ROOF. 195. 1/2" FOR 1/2" THROUGH ROOF. 196. 1/2" FOR 1/2" THROUGH ROOF. 197. 1/2" FOR 1/2" THROUGH ROOF. 198. 1/2" FOR 1/2" THROUGH ROOF. 199. 1/2" FOR 1/2" THROUGH ROOF. 200. 1/2" FOR 1/2" THROUGH ROOF. 201. 1/2" FOR 1/2" THROUGH ROOF. 202. 1/2" FOR 1/2" THROUGH ROOF. 203. 1/2" FOR 1/2" THROUGH ROOF. 204. 1/2" FOR 1/2" THROUGH ROOF. 205. 1/2" FOR 1/2" THROUGH ROOF. 206. 1/2" FOR 1/2" THROUGH ROOF. 207. 1/2" FOR 1/2" THROUGH ROOF. 208. 1/2" FOR 1/2" THROUGH ROOF. 209. 1/2" FOR 1/2" THROUGH ROOF. 210. 1/2" FOR 1/2" THROUGH ROOF. 211. 1/2" FOR 1/2" THROUGH ROOF. 212. 1/2" FOR 1/2" THROUGH ROOF. 213. 1/2" FOR 1/2" THROUGH ROOF. 214. 1/2" FOR 1/2" THROUGH ROOF. 215. 1/2" FOR 1/2" THROUGH ROOF. 216. 1/2" FOR 1/2" THROUGH ROOF. 217. 1/2" FOR 1/2" THROUGH ROOF. 218. 1/2" FOR 1/2" THROUGH ROOF. 219. 1/2" FOR 1/2" THROUGH ROOF. 220. 1/2" FOR 1/2" THROUGH ROOF. 221. 1/2" FOR 1/2" THROUGH ROOF. 222. 1/2" FOR 1/2" THROUGH ROOF. 223. 1/2" FOR 1/2" THROUGH ROOF. 224. 1/2" FOR 1/2" THROUGH ROOF. 225. 1/2" FOR 1/2" THROUGH ROOF. 226. 1/2" FOR 1/2" THROUGH ROOF. 227. 1/2" FOR 1/2" THROUGH ROOF. 228. 1/2" FOR 1/2" THROUGH ROOF. 229. 1/2" FOR 1/2" THROUGH ROOF. 230. 1/2" FOR 1/2" THROUGH ROOF. 231. 1/2" FOR 1/2" THROUGH ROOF. 232. 1/2" FOR 1/2" THROUGH ROOF. 233. 1/2" FOR 1/2" THROUGH ROOF. 234. 1/2" FOR 1/2" THROUGH ROOF. 235. 1/2" FOR 1/2" THROUGH ROOF. 236. 1/2" FOR 1/2" THROUGH ROOF. 237. 1/2" FOR 1/2" THROUGH ROOF. 238. 1/2" FOR 1/2" THROUGH ROOF. 239. 1/2" FOR 1/2" THROUGH ROOF. 240. 1/2" FOR 1/2" THROUGH ROOF. 241. 1/2" FOR 1/2" THROUGH ROOF. 242. 1/2" FOR 1/2" THROUGH ROOF. 243. 1/2" FOR 1/2" THROUGH ROOF. 244. 1/2" FOR 1/2" THROUGH ROOF. 245. 1/2" FOR 1/2" THROUGH ROOF. 246. 1/2" FOR 1/2" THROUGH ROOF. 247. 1/2" FOR 1/2" THROUGH ROOF. 248. 1/2" FOR 1/2" THROUGH ROOF. 249. 1/2" FOR 1/2" THROUGH ROOF. 250. 1/2" FOR 1/2" THROUGH ROOF. 251. 1/2" FOR 1/2" THROUGH ROOF. 252. 1/2" FOR 1/2" THROUGH ROOF. 253. 1/2" FOR 1/2" THROUGH ROOF. 254. 1/2" FOR 1/2" THROUGH ROOF. 255. 1/2" FOR 1/2" THROUGH ROOF. 256. 1/2" FOR 1/2" THROUGH ROOF. 257. 1/2" FOR 1/2" THROUGH ROOF. 258. 1/2" FOR 1/2" THROUGH ROOF. 259. 1/2" FOR 1/2" THROUGH ROOF. 260. 1/2" FOR 1/2" THROUGH ROOF. 261. 1/2" FOR 1/2" THROUGH ROOF. 262. 1/2" FOR 1/2" THROUGH ROOF. 263. 1/2" FOR 1/2" THROUGH ROOF. 264. 1/2" FOR 1/2" THROUGH ROOF. 265. 1/2" FOR 1/2" THROUGH ROOF. 266. 1/2" FOR 1/2" THROUGH ROOF. 267. 1/2" FOR 1/2" THROUGH ROOF. 268. 1/2" FOR 1/2" THROUGH ROOF. 269. 1/2" FOR 1/2" THROUGH ROOF. 270. 1/2" FOR 1/2" THROUGH ROOF. 271. 1/2" FOR 1/2" THROUGH ROOF. 272. 1/2" FOR 1/2" THROUGH ROOF. 273. 1/2" FOR 1/2" THROUGH ROOF. 274. 1/2" FOR 1/2" THROUGH ROOF. 275. 1/2" FOR 1/2" THROUGH ROOF. 276. 1/2" FOR 1/2" THROUGH ROOF. 277. 1/2" FOR 1/2" THROUGH ROOF. 278. 1/2" FOR 1/2" THROUGH ROOF. 279. 1/2" FOR 1/2" THROUGH ROOF. 280. 1/2" FOR 1/2" THROUGH ROOF. 281. 1/2" FOR 1/2" THROUGH ROOF. 282. 1/2" FOR 1/2" THROUGH ROOF. 283. 1/2" FOR 1/2" THROUGH ROOF. 284. 1/2" FOR 1/2" THROUGH ROOF. 285. 1/2" FOR 1/2" THROUGH ROOF. 286. 1/2" FOR 1/2" THROUGH ROOF. 287. 1/2" FOR 1/2" THROUGH ROOF. 288. 1/2" FOR 1/2" THROUGH ROOF. 289. 1/2" FOR 1/2" THROUGH ROOF. 290. 1/2" FOR 1/2" THROUGH ROOF. 291. 1/2" FOR 1/2" THROUGH ROOF. 292. 1/2" FOR 1/2" THROUGH ROOF. 293. 1/2" FOR 1/2" THROUGH ROOF. 294. 1/2" FOR 1/2" THROUGH ROOF. 295. 1/2" FOR 1/2" THROUGH ROOF. 296. 1/2" FOR 1/2" THROUGH ROOF. 297. 1/2" FOR 1/2" THROUGH ROOF. 298. 1/2" FOR 1/2" THROUGH ROOF. 299. 1/2" FOR 1/2" THROUGH ROOF. 300. 1/2" FOR 1/2" THROUGH ROOF. 301. 1/2" FOR 1/2" THROUGH ROOF. 302. 1/2" FOR 1/2" THROUGH ROOF. 303. 1/2" FOR 1/2" THROUGH ROOF. 304. 1/2" FOR 1/2" THROUGH ROOF. 305. 1/2" FOR 1/2" THROUGH ROOF. 306. 1/2" FOR 1/2" THROUGH ROOF. 307. 1/2" FOR 1/2" THROUGH ROOF. 308. 1/2" FOR 1/2" THROUGH ROOF. 309. 1/2" FOR 1/2" THROUGH ROOF. 310. 1/2" FOR 1/2" THROUGH ROOF. 311. 1/2" FOR 1/2" THROUGH ROOF. 312. 1/2" FOR 1/2" THROUGH ROOF. 313. 1/2" FOR 1/2" THROUGH ROOF. 314. 1/2" FOR 1/2" THROUGH ROOF. 315. 1/2" FOR 1/2" THROUGH ROOF. 316. 1/2" FOR 1/2" THROUGH ROOF. 317. 1/2" FOR 1/2" THROUGH ROOF. 318. 1/2" FOR 1/2" THROUGH ROOF. 319. 1/2" FOR 1/2" THROUGH ROOF. 320. 1/2" FOR 1/2" THROUGH ROOF. 321. 1/2" FOR 1/2" THROUGH ROOF. 322. 1/2" FOR 1/2" THROUGH ROOF. 323. 1/2" FOR 1/2" THROUGH ROOF. 324. 1/2" FOR 1/2" THROUGH ROOF. 325. 1/2" FOR 1/2" THROUGH ROOF. 326. 1/2" FOR 1/2" THROUGH ROOF. 327. 1/2" FOR 1/2" THROUGH ROOF. 328. 1/2" FOR 1/2" THROUGH ROOF. 329. 1/2" FOR 1/2" THROUGH ROOF. 330. 1/2" FOR 1/2" THROUGH ROOF. 331. 1/2" FOR 1/2" THROUGH ROOF. 332. 1/2" FOR 1/2" THROUGH ROOF. 333. 1/2" FOR 1/2" THROUGH ROOF. 334. 1/2" FOR 1/2" THROUGH ROOF. 335. 1/2" FOR 1/2" THROUGH ROOF. 336. 1/2" FOR 1/2" THROUGH ROOF. 337. 1/2" FOR 1/2" THROUGH ROOF. 338. 1/2" FOR 1/2" THROUGH ROOF. 339. 1/2" FOR 1/2" THROUGH ROOF. 340. 1/2" FOR 1/2" THROUGH ROOF. 341. 1/2" FOR 1/2" THROUGH ROOF. 342. 1/2" FOR 1/2" THROUGH ROOF. 343. 1/2" FOR 1/2" THROUGH ROOF. 344. 1/2" FOR 1/2" THROUGH ROOF. 345. 1/2" FOR 1/2" THROUGH ROOF. 346. 1/2" FOR 1/2" THROUGH ROOF. 347. 1/2" FOR 1/2" THROUGH ROOF. 348. 1/2" FOR 1/2" THROUGH ROOF. 349. 1/2" FOR 1/2" THROUGH ROOF. 350. 1/2" FOR 1/2" THROUGH ROOF. 351. 1/2" FOR 1/2" THROUGH ROOF. 352. 1/2" FOR 1/2" THROUGH ROOF. 353. 1/2" FOR 1/2" THROUGH ROOF. 354. 1/2" FOR 1/2" THROUGH ROOF. 355. 1/2" FOR 1/2" THROUGH ROOF. 356. 1/2" FOR 1/2" THROUGH ROOF. 357. 1/2" FOR 1/2" THROUGH ROOF. 358. 1/2" FOR 1/2" THROUGH ROOF. 359. 1/2" FOR 1/2" THROUGH ROOF. 360. 1/2" FOR 1/2" THROUGH ROOF. 361. 1/2" FOR 1/2" THROUGH ROOF. 362. 1/2" FOR 1/2" THROUGH ROOF. 363. 1/2" FOR 1/2" THROUGH ROOF. 364. 1/2" FOR 1/2" THROUGH ROOF. 365. 1/2" FOR 1/2" THROUGH ROOF. 366. 1/2" FOR 1/2" THROUGH ROOF. 367. 1/2" FOR 1/2" THROUGH ROOF. 368. 1/2" FOR 1/2" THROUGH ROOF. 369. 1/2" FOR 1/2" THROUGH ROOF. 370. 1/2" FOR 1/2" THROUGH ROOF. 371. 1/2" FOR 1/2" THROUGH ROOF. 372. 1/2" FOR 1/2" THROUGH ROOF. 373. 1/2" FOR 1/2" THROUGH ROOF. 374. 1/2" FOR 1/2" THROUGH ROOF. 375. 1/2" FOR 1/2" THROUGH ROOF. 376. 1/2" FOR 1/2" THROUGH ROOF. 377. 1/2" FOR 1/2" THROUGH ROOF. 378. 1/2" FOR 1/2" THROUGH ROOF. 379. 1/2" FOR 1/2" THROUGH ROOF. 380. 1/2" FOR 1/2" THROUGH ROOF. 381. 1/2" FOR 1/2" THROUGH ROOF. 382. 1/2" FOR 1/2" THROUGH ROOF. 383. 1/2" FOR 1/2" THROUGH ROOF. 384. 1/2" FOR 1/2" THROUGH ROOF. 385. 1/2" FOR 1/2" THROUGH ROOF. 386. 1/2" FOR 1/2" THROUGH ROOF. 387. 1/2" FOR 1/2" THROUGH ROOF. 388. 1/2" FOR 1/2" THROUGH ROOF. 389. 1/2" FOR 1/2" THROUGH ROOF. 390. 1/2" FOR 1/2" THROUGH ROOF. 391. 1/2" FOR 1/2" THROUGH ROOF. 392. 1/2" FOR 1/2" THROUGH ROOF. 393. 1/2" FOR 1/2" THROUGH ROOF. 394. 1/2" FOR 1/2" THROUGH ROOF. 395. 1/2" FOR 1/2" THROUGH ROOF. 396. 1/2" FOR 1/2" THROUGH ROOF. 397. 1/2" FOR 1/2" THROUGH ROOF. 398. 1/2" FOR 1/2" THROUGH ROOF. 399. 1/2" FOR 1/2" THROUGH ROOF. 400. 1/2" FOR 1/2" THROUGH ROOF. 401. 1/2" FOR 1/2" THROUGH ROOF. 402. 1/2" FOR 1/2" THROUGH ROOF. 403. 1/2" FOR 1/2" THROUGH ROOF. 404. 1/2" FOR 1/2" THROUGH ROOF. 405. 1/2" FOR 1/2" THROUGH ROOF. 406. 1/2" FOR 1/2" THROUGH ROOF. 407. 1/2" FOR 1/2" THROUGH ROOF. 408. 1/2" FOR 1/2" THROUGH ROOF. 409. 1/2" FOR 1/2" THROUGH ROOF. 410. 1/2" FOR 1/2" THROUGH ROOF. 411. 1/2" FOR 1/2" THROUGH ROOF. 412. 1/2" FOR 1/2" THROUGH ROOF. 413. 1/2" FOR 1/2" THROUGH ROOF. 414. 1/2" FOR 1/2" THROUGH ROOF. 415. 1/2" FOR 1/2" THROUGH ROOF. 416. 1/2" FOR 1/2" THROUGH ROOF. 417. 1/2" FOR 1/2" THROUGH ROOF. 418. 1/2" FOR 1/2" THROUGH ROOF. 419. 1/2" FOR 1/2" THROUGH ROOF. 420. 1/2" FOR 1/2" THROUGH ROOF. 421. 1/2" FOR 1/2" THROUGH ROOF. 422. 1/2" FOR 1/2" THROUGH ROOF. 423. 1/2" FOR 1/2" THROUGH ROOF. 424. 1/2" FOR 1/2" THROUGH ROOF. 425. 1/2" FOR 1/2" THROUGH ROOF. 426. 1/2" FOR 1/2" THROUGH ROOF. 427. 1/2" FOR 1/2" THROUGH ROOF. 428. 1/2" FOR 1/2" THROUGH ROOF. 429. 1/2" FOR 1/2" THROUGH ROOF. 430. 1/2" FOR 1/2" THROUGH ROOF. 431. 1/2" FOR 1/2" THROUGH ROOF. 432. 1/2" FOR 1/2" THROUGH ROOF. 433. 1/2" FOR 1/2" THROUGH ROOF. 434. 1/2" FOR 1/2" THROUGH ROOF. 435. 1/2" FOR 1/2" THROUGH ROOF. 436. 1/2" FOR 1/2" THROUGH ROOF. 437. 1/2" FOR 1/2" THROUGH ROOF. 438. 1/2" FOR 1/2" THROUGH ROOF. 439. 1/2" FOR 1/2" THROUGH ROOF. 440. 1/2" FOR 1/2" THROUGH ROOF. 441. 1/2" FOR 1/2" THROUGH ROOF. 442. 1/2" FOR 1/2" THROUGH ROOF. 443. 1/2" FOR 1/2" THROUGH ROOF. 444. 1/2" FOR 1/2" THROUGH ROOF. 445. 1/2" FOR 1/2" THROUGH ROOF. 446. 1/2" FOR 1/2" THROUGH ROOF. 447. 1/2" FOR 1/2" THROUGH ROOF. 448. 1/2" FOR 1/2" THROUGH ROOF. 449. 1/2" FOR 1/2" THROUGH ROOF. 450. 1/2" FOR 1/2" THROUGH ROOF. 451. 1/2" FOR 1/2" THROUGH ROOF. 452. 1/2" FOR 1/2" THROUGH ROOF. 453. 1/2" FOR 1/2" THROUGH ROOF. 454. 1/2" FOR 1/2" THROUGH ROOF. 455. 1/2" FOR 1/2" THROUGH ROOF. 456. 1/2" FOR 1/2" THROUGH ROOF. 457. 1/2" FOR 1/2" THROUGH ROOF. 458. 1/2" FOR 1/2" THROUGH ROOF. 459. 1/2" FOR 1/2" THROUGH ROOF. 460. 1/2" FOR 1/2" THROUGH ROOF. 461. 1/2" FOR 1/2" THROUGH ROOF. 462. 1/2" FOR 1/2" THROUGH ROOF. 46

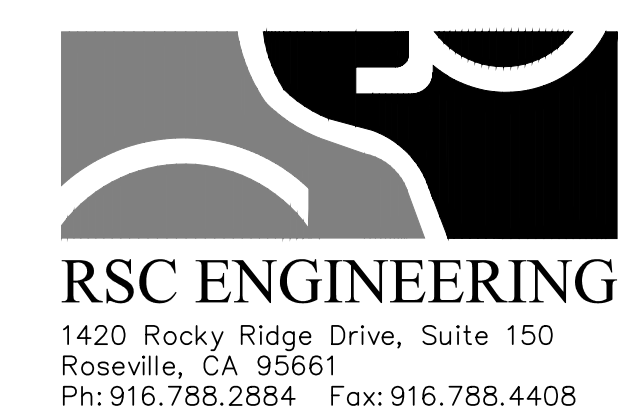


CITY OF ROSEVILLE APPROVAL

TENTATIVE MAP - SECTIONS
WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

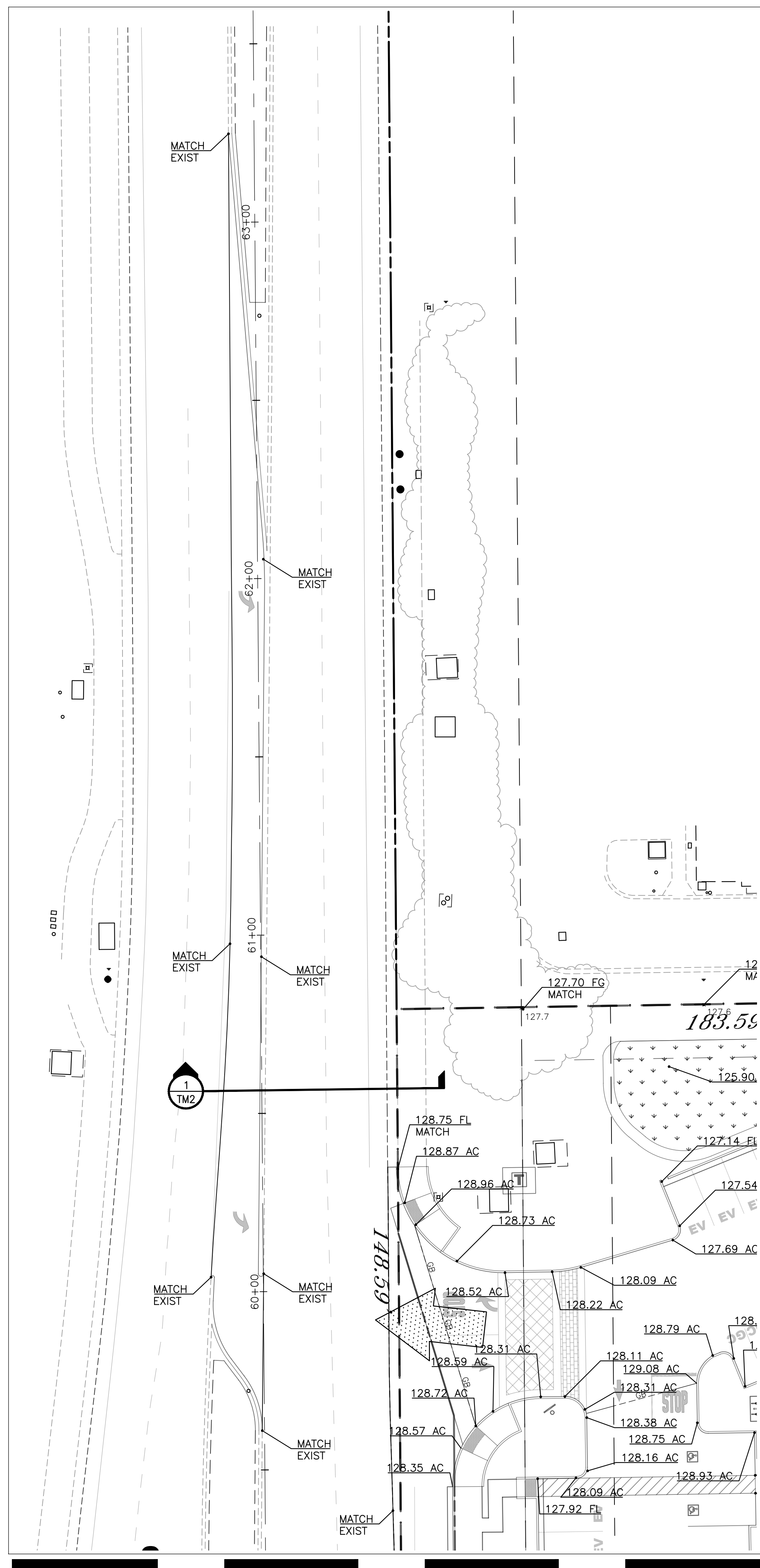
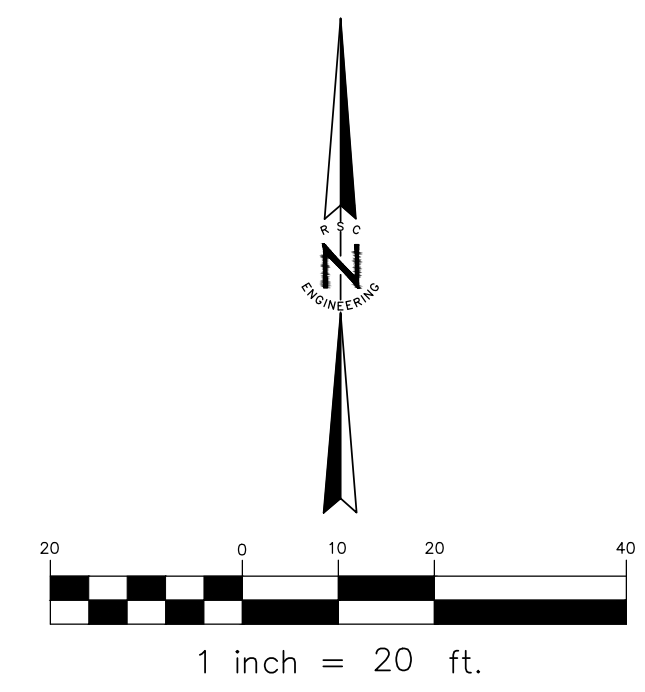
TM2

RSC JOB # 277-001
DATE: 07/22/2022



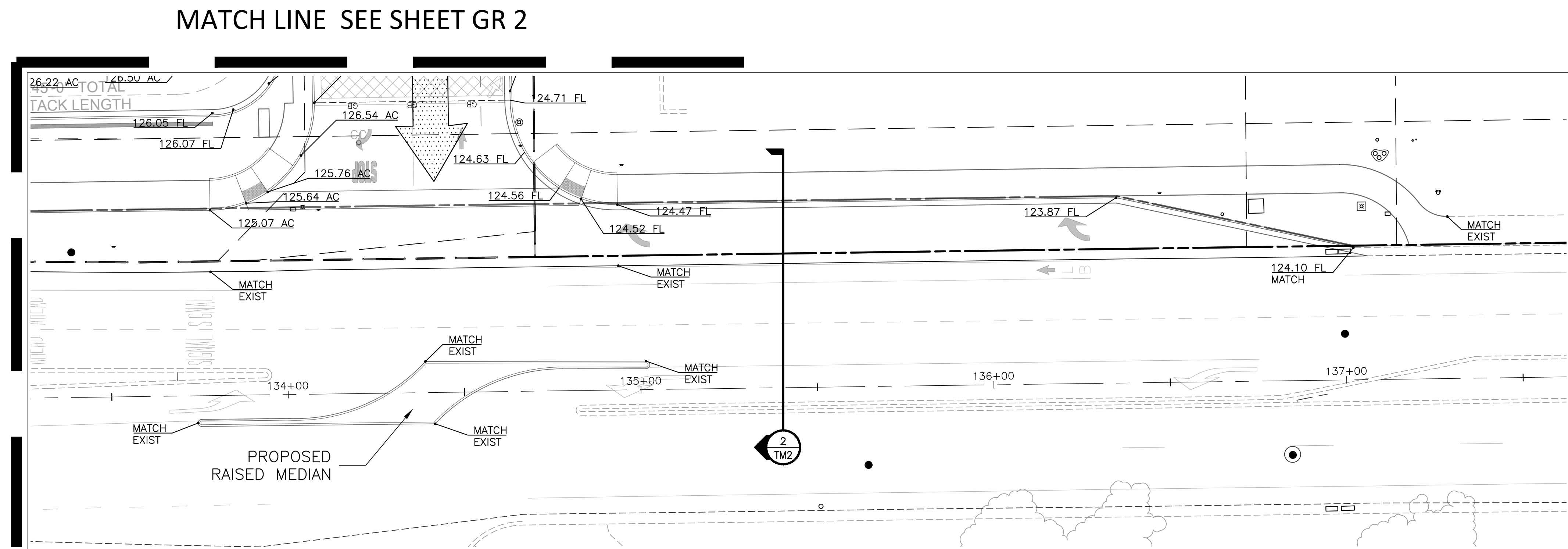
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM





MATCH LINE SEE SHEET GR 1

MATCH LINE SEE SHEET GR 1



MATCH LINE SEE SHEET GR 2

MATCH LINE SEE SHEET GR 2

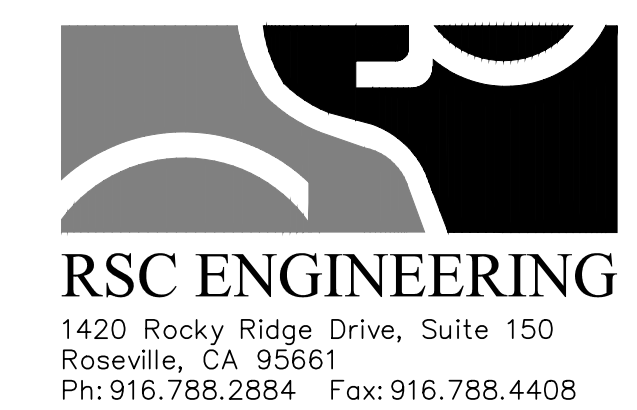
CITY OF ROSEVILLE APPROVAL

PRELIMINARY GRADING PLAN

WEST ROSEVILLE MARKETPLACE
1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

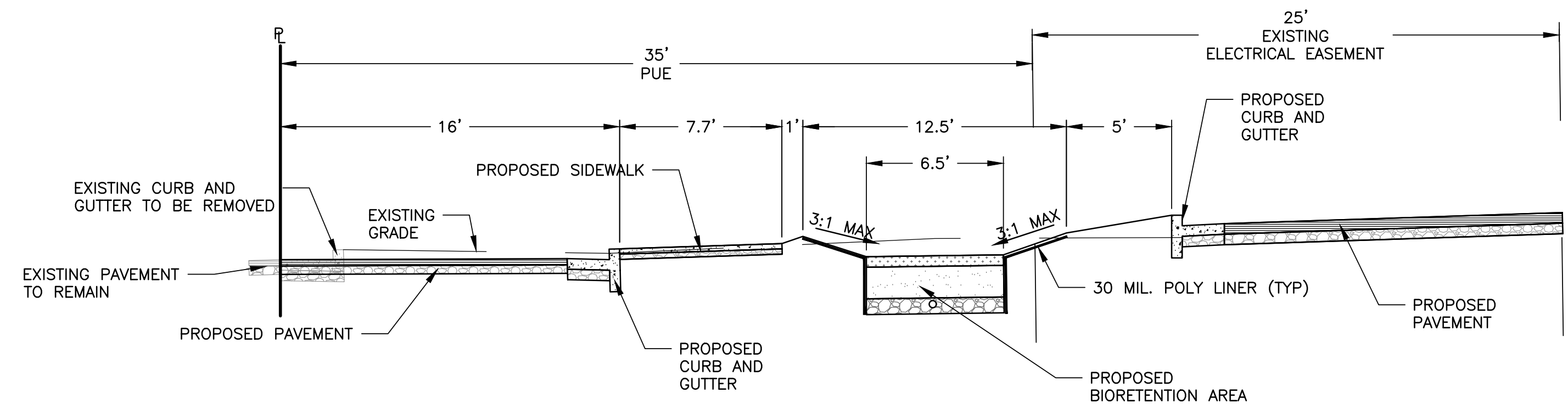
GR3

RSC JOB #: 277-001
DATE: 07/22/2022

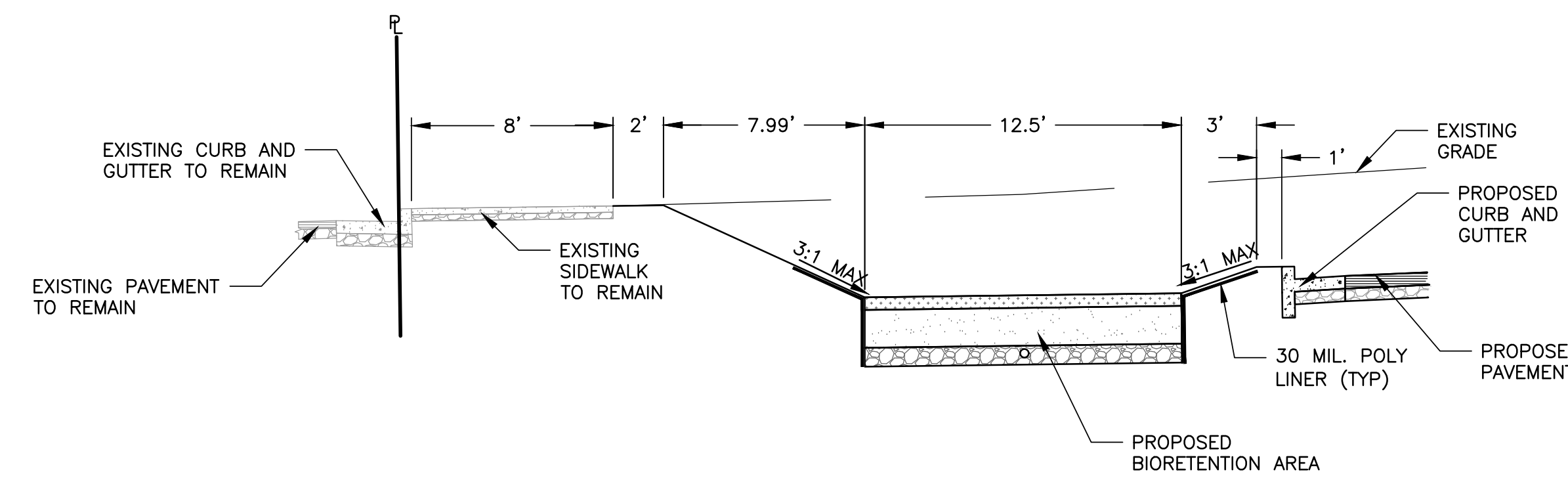


NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

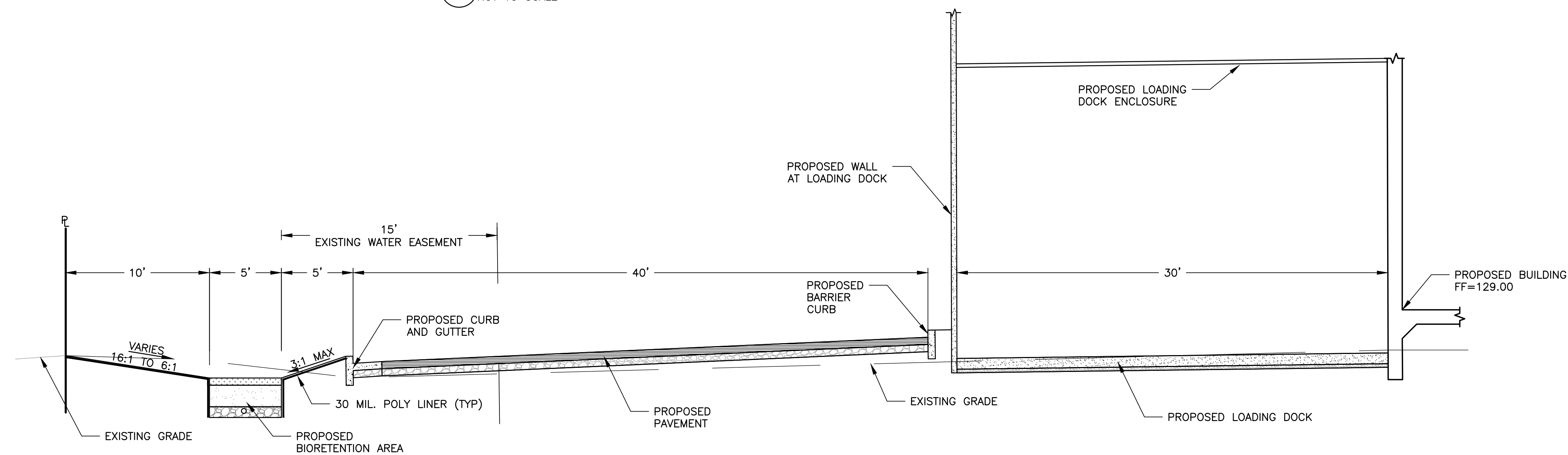
NADEL



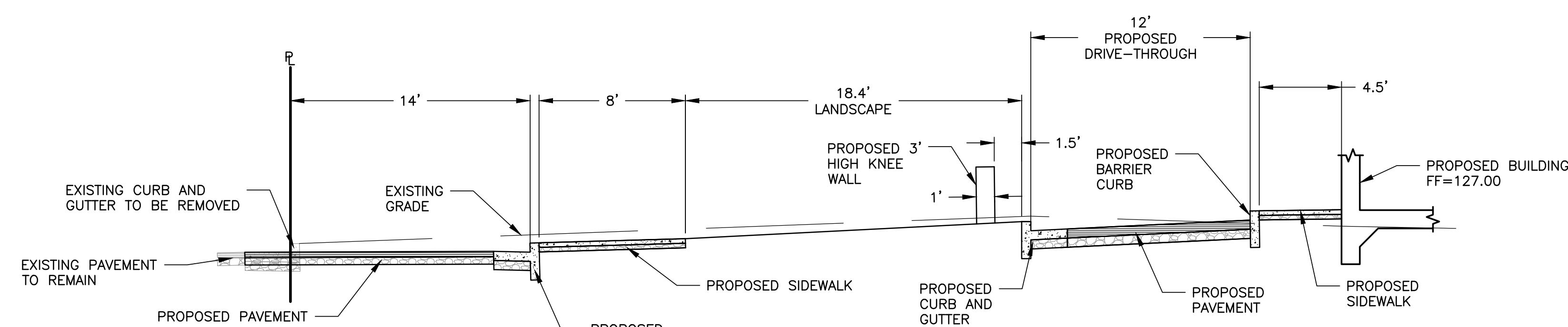
1 SECTION 1
NOT TO SCALE



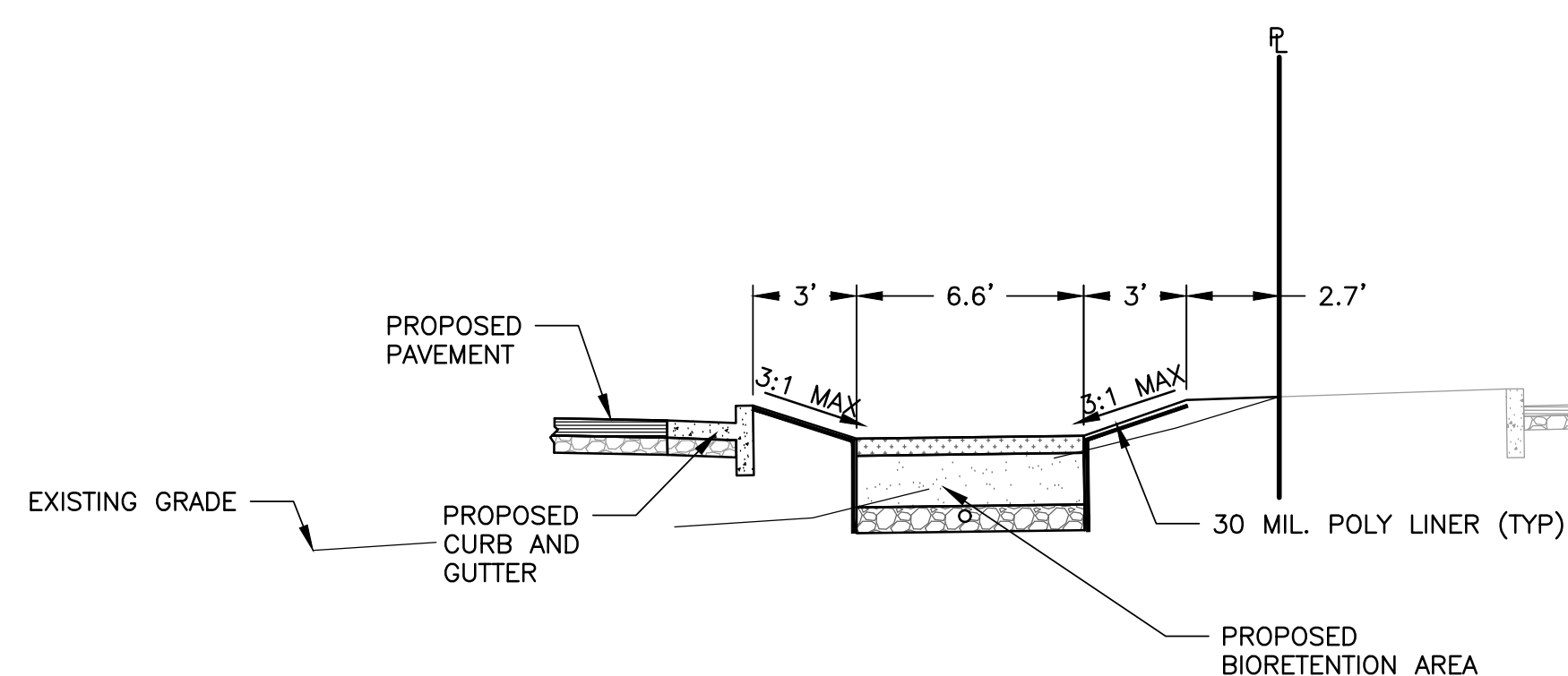
5 SECTION 5
NOT TO SCALE



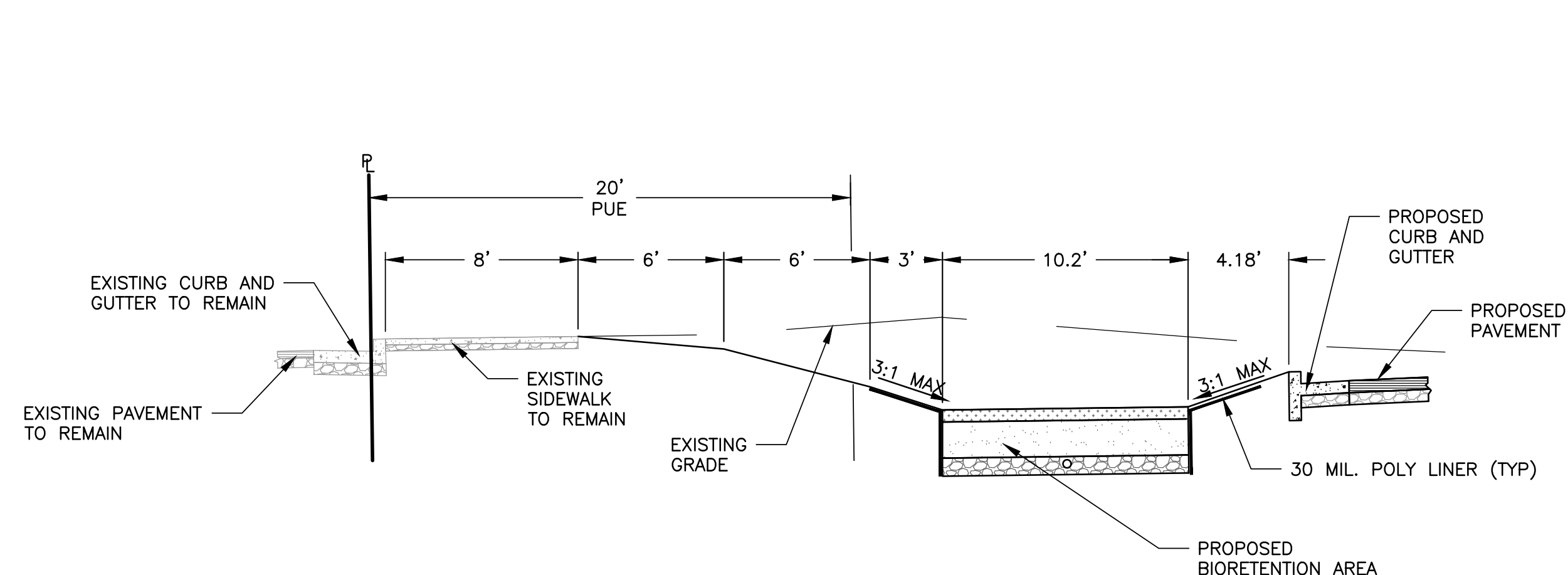
2 SECTION 2
NOT TO SCALE



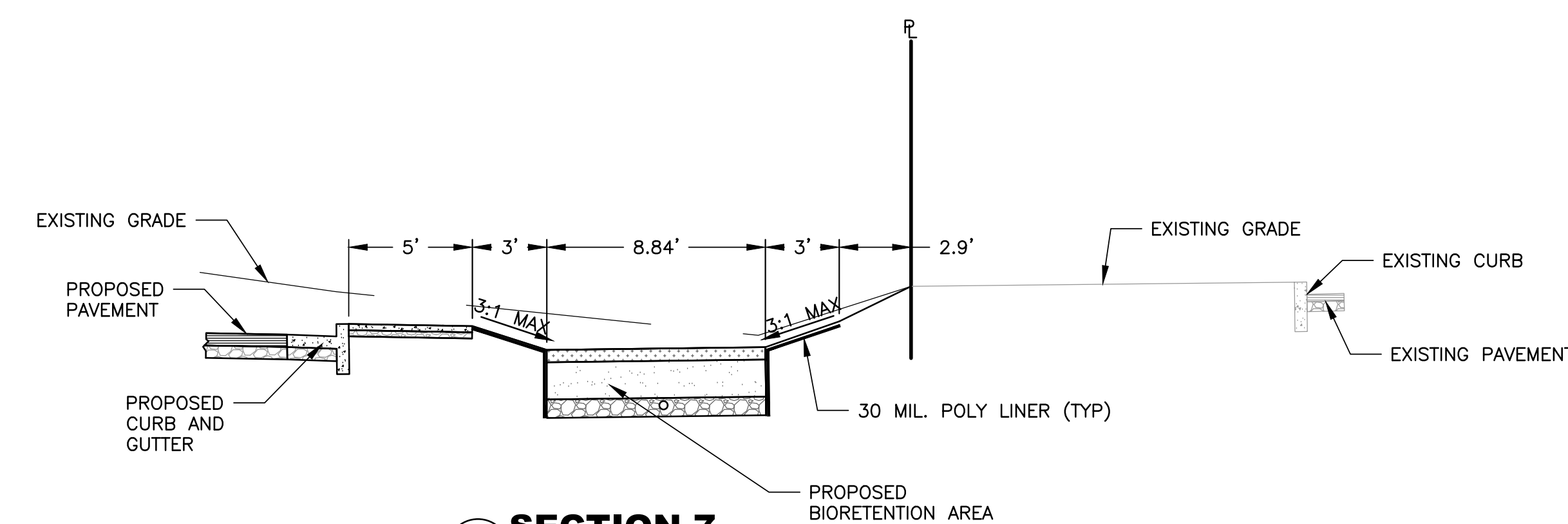
6 SECTION 6
NOT TO SCALE



3 SECTION 3
NOT TO SCALE



4 SECTION 4
NOT TO SCALE



7 SECTION 7
NOT TO SCALE

CITY OF ROSEVILLE APPROVAL

PRELIMINARY GRADING SECTIONS

WEST ROSEVILLE MARKETPLACE

1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

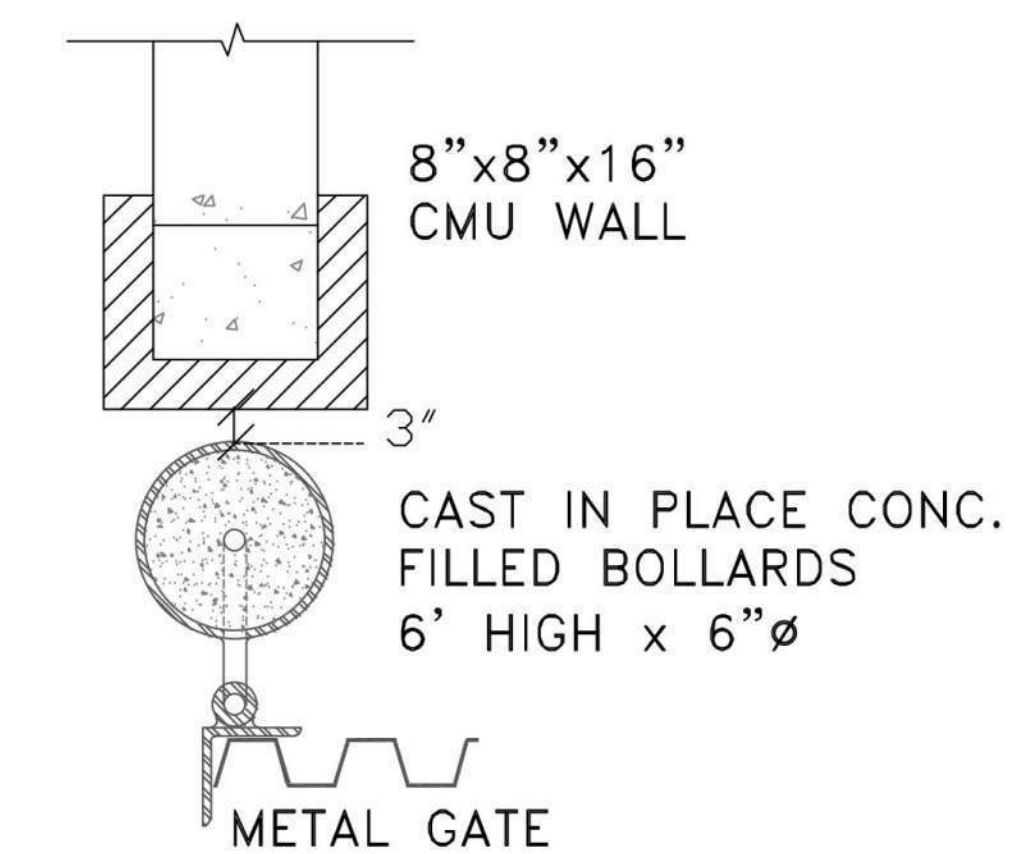
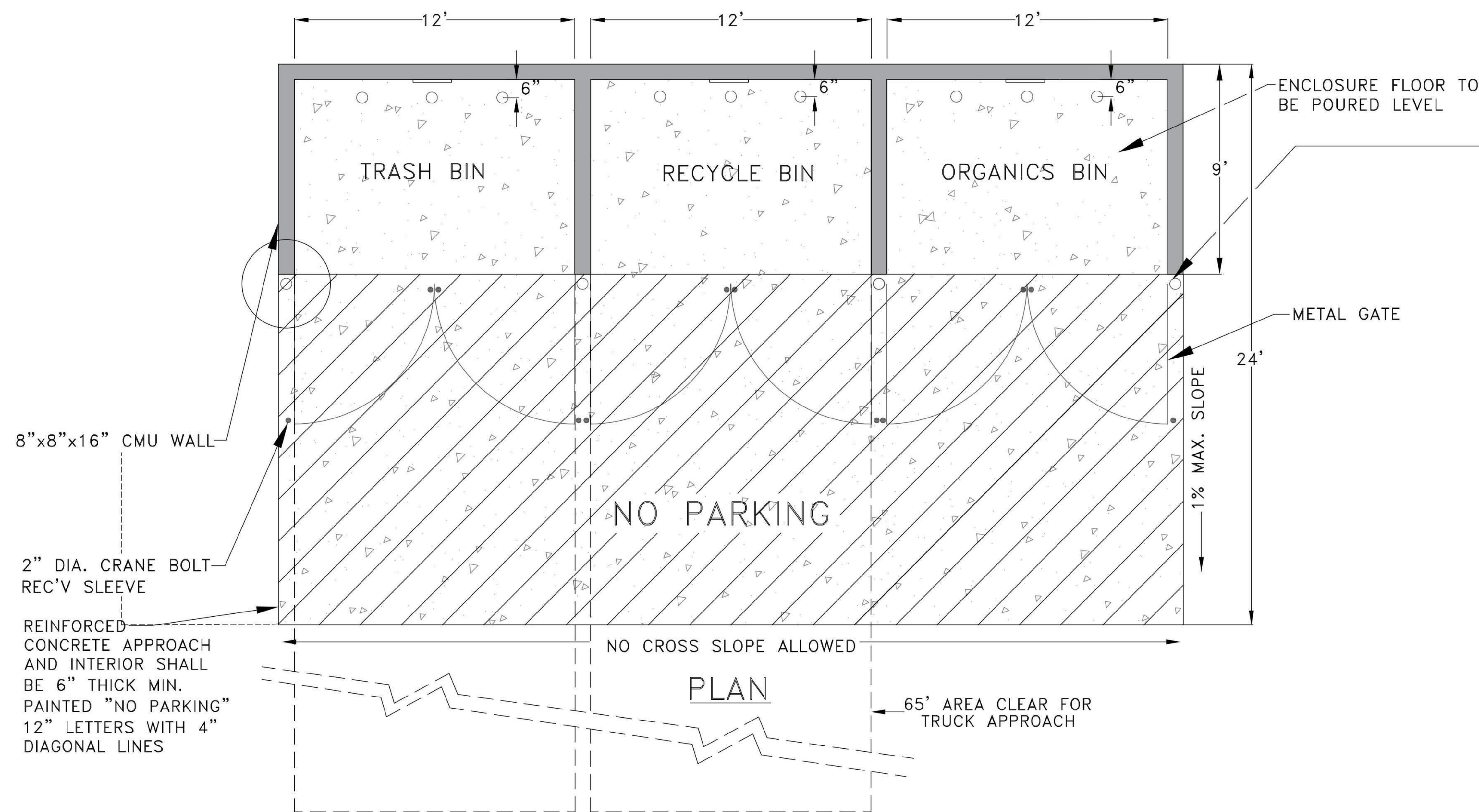
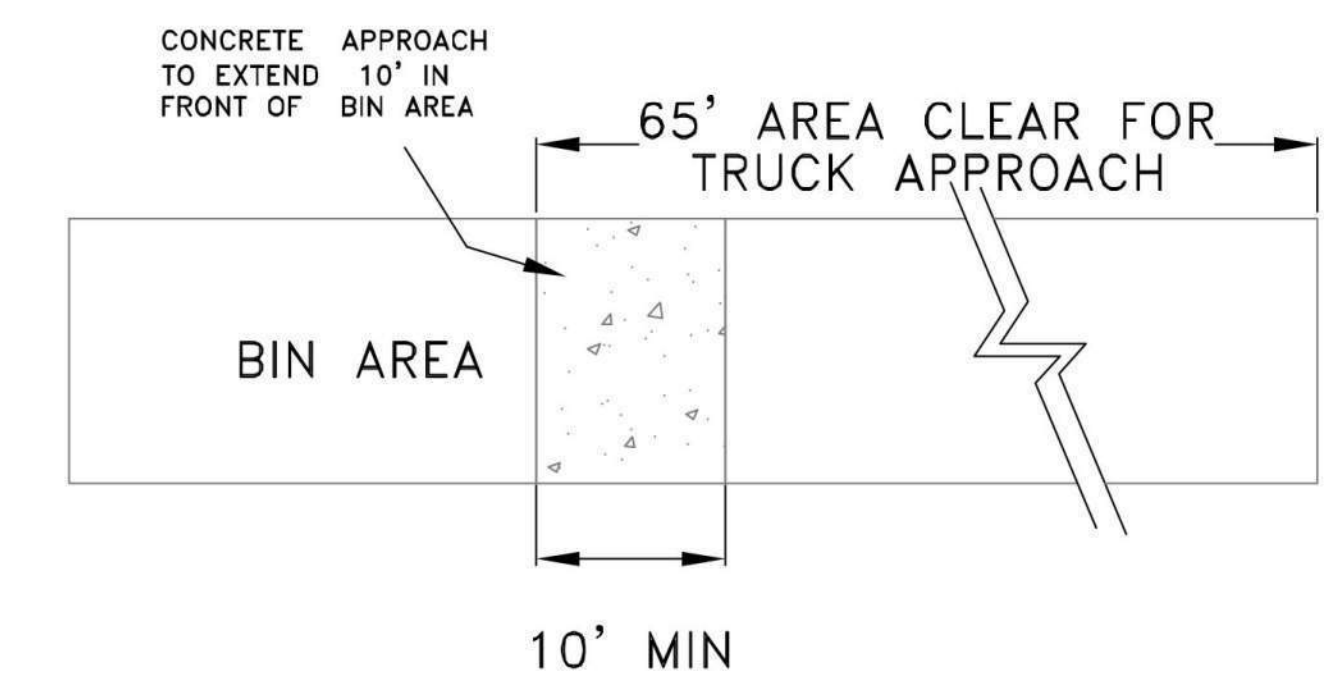
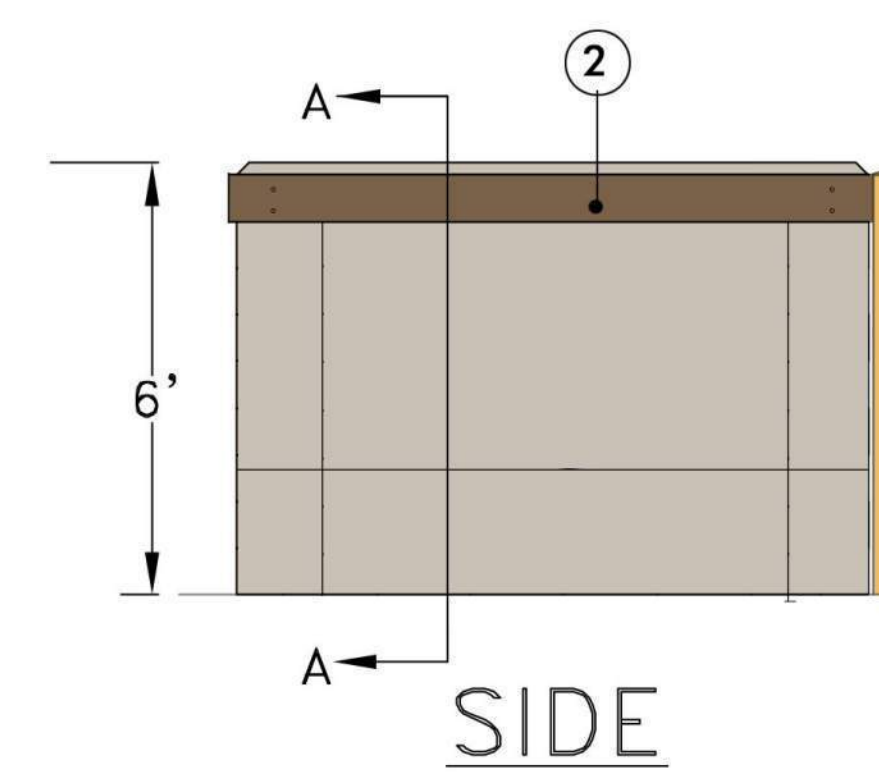
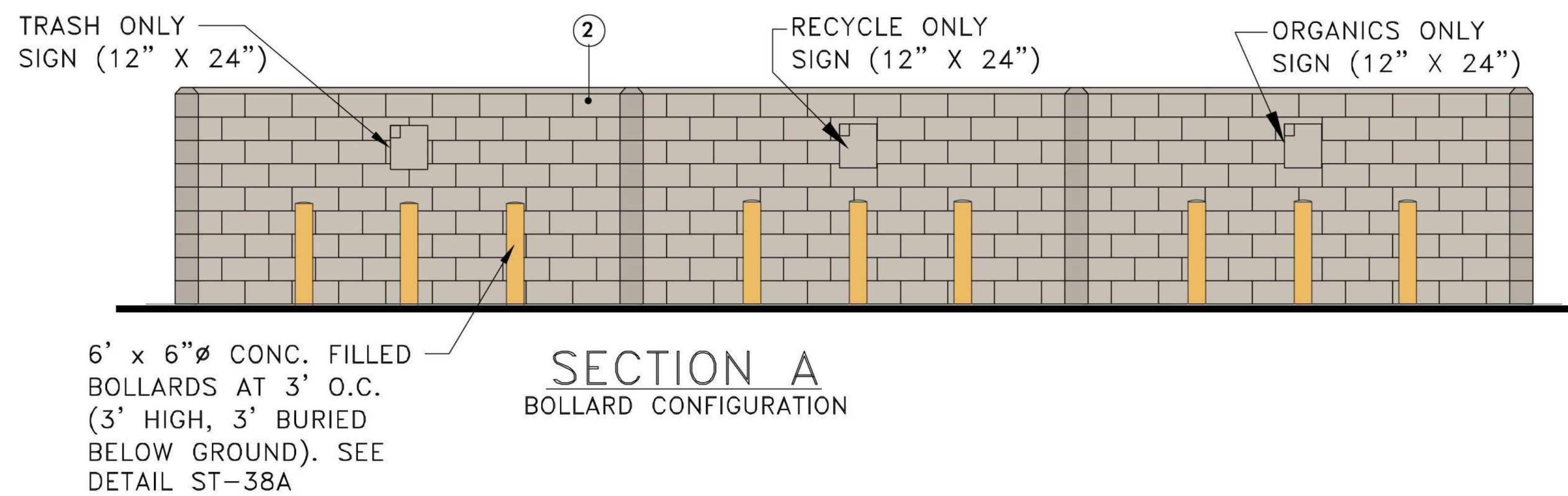
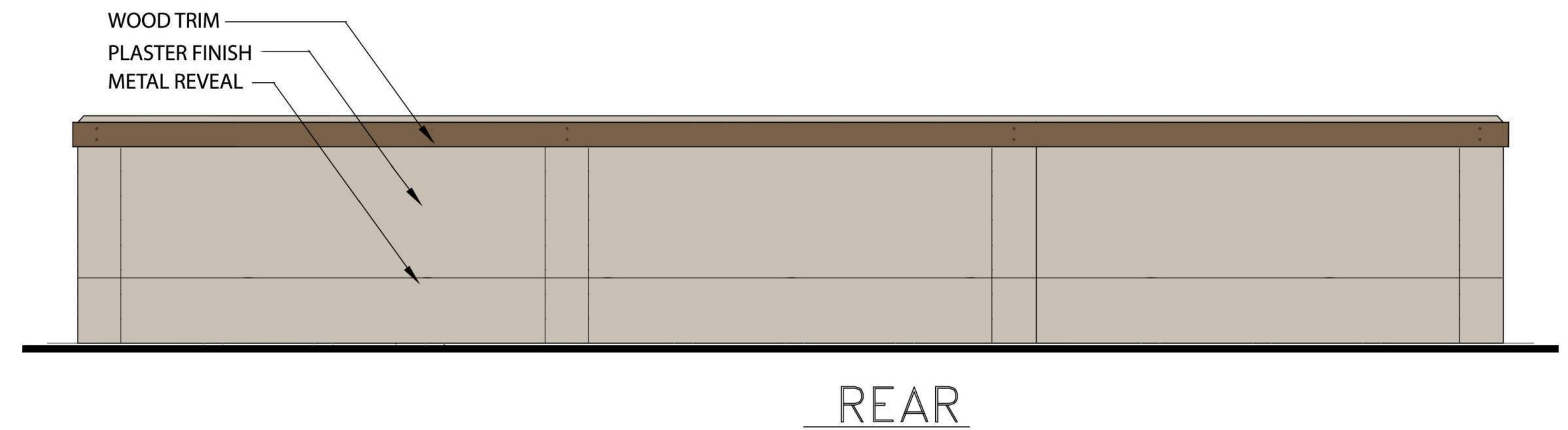
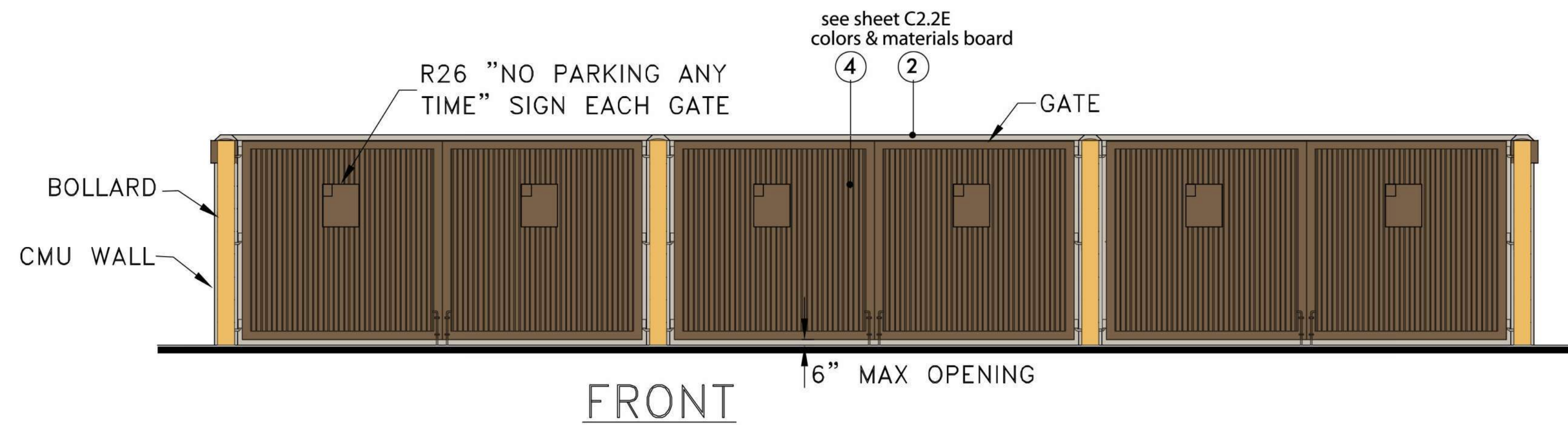
GR4

RSC JOB #: 277-001
DATE: 07/22/2022



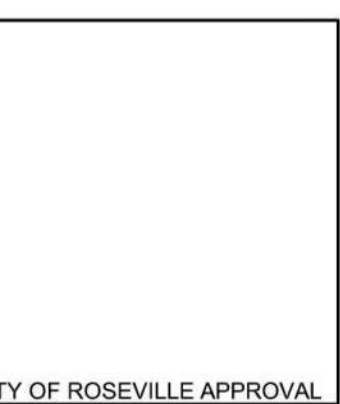
NADEL STUDIO ONE, INC.
1990 S. BUNDY DR., SUITE 400
LOS ANGELES, CA 90025
T: 310.826.2100 F: 310.826.0182
WWW.NADELARC.COM

NADEL



NOTES:

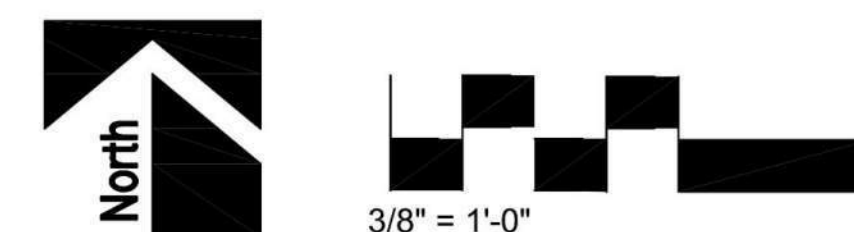
1. SINGLE ENCLOSURE IS 12' WIDE (INTERIOR)
2. THE EXTERIOR FINISH AND COLOR OF THE ENCLOSURE SHALL MATCH THE BUILDING PER THE DESIGN REVIEW PERMIT EXHIBITS AND/OR CONDITIONS OF APPROVAL
3. NO. 4 REBAR, 12 INCHES O.C. EACH WAY, 3 INCH DOBIES WITH WIRE TIES AT 3' INTERVALS, EACH WAY.



TYPICAL TRASH ENCLOSURE
WEST ROSEVILLE MARKETPLACE
 1798 PLEASANT GROVE BLVD., ROSEVILLE, CA

SHEET C2.5

JOB #: 22002
 DATE: 03/15/2022
 REV: 07/11/2022



NADEL STUDIO ONE, INC.
 1990 S. BUNDY DR., SUITE 400
 LOS ANGELES, CA 90025
 T: 310.826.2100 F: 310.826.0182
 WWW.NADELARC.COM

